

CITY OF LEEDS, ALABAMA

PLANNING AND ZONING COMMISSION AGENDA

1412 9th St - Annex

April 14, 2022 @ 5:00 PM

| CALL TO ORDER | R | : | | |
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ROLL CALL:

DETERMINATION OF QUORUM:

APPROVAL OF MINUTES FROM PREVIOUS MEETING(S):

OLD BUSINESS:

NEW BUSINESS:

- SA22-000004 A request by JH Pugh Renovations LLC Jason Pugh, Owner and Applicant, for a resurvey plat "Resurvey of Lots 17, 18, 19, 20, 21, 22 and 23 Block BA, according to the survey of Leeds" located at 1710 Morgan St, Leeds, TPID 2500164013004000, Jefferson County.
- SA22-000005 A request by Tiffany Joes, Owner, and Applicant, for a resurvey "Resurvey of Lots 335 & 336 of Final Plat Spring Valley Phase Three" located at 921 Valley Cir, Leeds, AL 35094, TPID PART OF 2500301001002000, Jefferson County, Zoned R-5, Garden Home District, Jefferson County.
- 3. SA22-000006 Duplicate Case Void- A request by Gonzalez, Strength & Associates, Applicant, Hillary Drummond, Owner for a preliminary plat "Hillary Drummond Add to Elliot Lane Plat No. 2" consisting of one (1) lot located at 7389 Elliot Ln, Leeds, AL 35094, TPID2500293000002001. Zoned, A-1, Agriculture, Jefferson County
- 4. SA22-000009 A request by Schoel Engineering, Applicant, United States Steel, Owner for a preliminary plat "Grand River Townhomes" located at 9995 Rex Lake Rd, Leeds, AL 35094, TPID 2400264000001000, Zoned PCD Planned Community Development, Jefferson County
- 5. SA22-000010 A request by Frank Sweatt, Owner, and Applicant, for a certified plat "Frank Sweatt's Addition to Elliot Ln" consisting of one (1) lot located at 7442 Elliot Lane, Leeds, AL 35094, TPID 2500294000002005, Zoned A-1, Agriculture, Jefferson County.
- 6. SA22-0000011 A request by Gonzalez, Strength & Associates Fred Cox, Applicant HIllary Drummond, Owner for a certified plat HILLARY DRUMMOND ADD TO ELLIOT LANE PLAT NO. 2 located at 7245 Elliot Ln, 35094, TPID: 2500294000002000 Zoned A-1 Agriculture

PUBLIC ADDRESS:

OTHER BUSINESS:

CHAIRPERSON'S COMMUNICATION:

ADJOURNMENT:

In compliance with the Americans with Disabilities Act, those requiring accommodation for Council meetings should notify the City Clerk's Office at least 24 hours prior to the meeting at 205-699-2585.

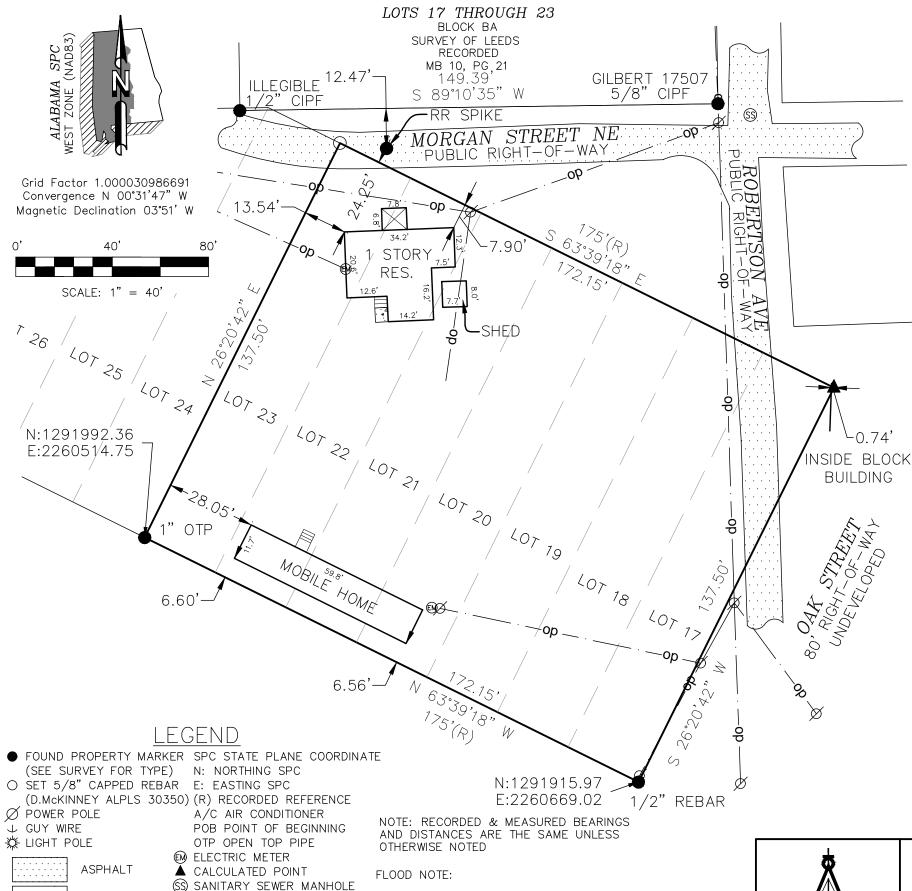
1. SA22-000004 - A request by JH Pugh Renovations LLC - Jason Pugh, Owner and Applicant, for a resurvey plat "Resurvey of Lots 17, 18, 19, 20, 21, 22 and 23 Block BA, according to the survey of Leeds" located at 1710 Morgan St, Leeds, TPID 2500164013004000, Jefferson County.

CONCRETE

COVERED

OVERHEAD POWER

FENCE



BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY

DATE OF SEPTEMBER 29, 2006, AND IS PARTIALLY IN A

SPECIAL FLOOD HAZARD AREA.

APPEARS TO LIE IN FLOOD ZONE "X" AND "X SHADED" AND

"AE"OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 010125 PANEL 0441 G, WHICH BEARS AN EFFECTIVE

AS-BUILT SURVEY STATE OF ALABAMA COUNTY OF JEFFERSON

TO ALL INTERESTED PARTIES: SCALE: 1" = 40'

I, David D. McKinney, Alabama Registered No. 30350, hereby state that all parts of this survey, performed on the 14th day of August, 2021, and the drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge, information, and belief.

Legal Description (Instrument # 2018069867)

Lots 17, 18, 19, 20, 21, 22 and 23, Block BA, according to the Survey of Leeds, as recorded in Map Book 10, Page 21, in the Probate Office of Jefferson County, Alabama

That there are no rights—of—way, easements, joint driveways or encroachments, over or across said land, visible on the surface or shown on recorded map, except as shown; that this survey shows the improvements located on said property; and that there are no electrical or telephone wires, (excluding wire which serve the premises only) or structures or supports thereof, including poles, anchors and guy wires, on or over said property, except as shown.

Note: No title or abstract research was performed by the undersigned.

GIVEN UNDER MY HAND AND SEAL, this the 20th day of August, 2021.

David D. Mokumey Alabama Registered No. 30350

PROPERTY ADDRESS 1714 Morgan Street

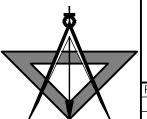
Leeds, Alabama 35094



SURVEYOR'S NOTES

- 1. This is an As-built Survey, made on the ground under the supervision of an Alabama Registered Land Surveyor. Date of field survey is August 14th, 2021.
- 2. The following surveying instruments were used at time of field visit: Topcon GM55, Total Station, Reflectorless, Topcon Hiper SR G.P.S. receiver.
- 3. Bearings are Based on Alabama State Plane Coordinate System West Zone by GPS RTK network observation with ALDOT transmitted corrections. Elevations (if shown are NAVD 88, Geoid 18).
- 4. No underground utilities, underground encroachments or building foundations were measured or located as a part of this survey, unless otherwise shown. Trees and shrubs not located, unless otherwise shown.
- 5. This survey was conducted for the purpose of an As-built Survey only, and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other similar entity.

 6. Attention is directed to the fact that this survey may have been reduced or enlarged in size due to reproduction. This
- should be taken into consideration when obtaining scaled data. 7. This Survey was conducted with out the benefit of an Abstract Title search.
- 8. Survey shown hereon conforms to the Minimum Requirements as set forth by the State Board for a Class "A" Survey. 9. Field data upon which this map or plat is based has a closure precision of not less than one-foot in 15,000 feet
- (1':15,000') and an angular error that does not exceed 10 seconds times the square root of the number of angles turned. Field traverse was not adjusted.
- 10. This survey is not valid without the original signature and the original seal of a state licensed surveyor and mapper. 11. Survey may be subject to easements, rights-of-way or other instruments of record not shown on this survey.



David D. McKinney

Alabama Professional Land Surveyor 54 White Oak Circle Lincoln, Alabama 35096

Scheduling: (256) 375-2710 Cell: (205) 281-5723

| sion | Description | Date | / | | | |
|------|-------------|------|----------|--------|-------|-------|
| | | | | | | |
| | | | DATE: | DRAWN: | CHKD: | SCALE |
| | | | 08/19/21 | DM | DM | 1"=40 |

PROJECT NO. 21-064

TYPE OF SURVEY

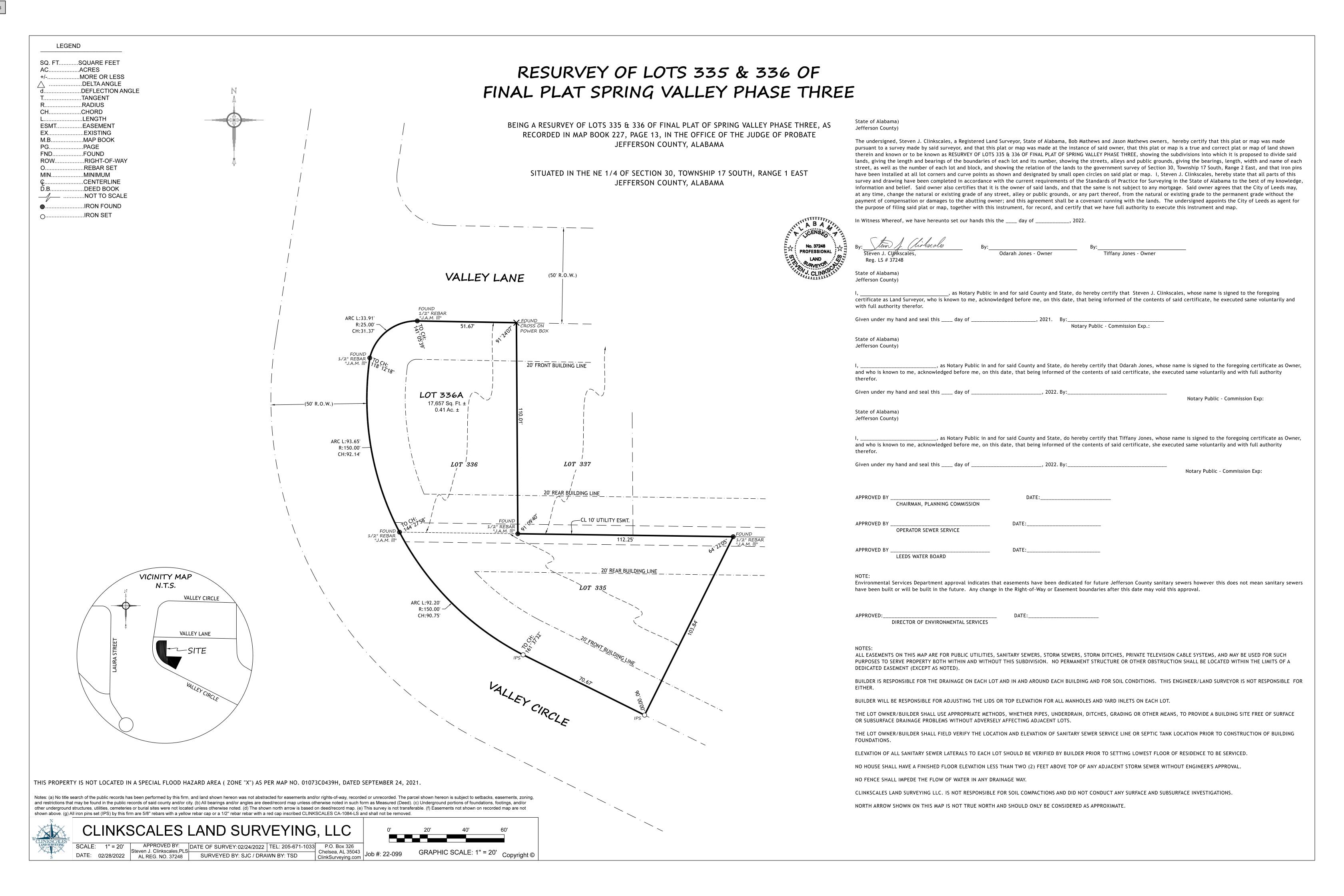
CLIENT

AS-BUILT

Holley

Copeland

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LEGEND

IRON PIN FOUND

CALCULATED POINT

RIGHT OF WAY

ROW

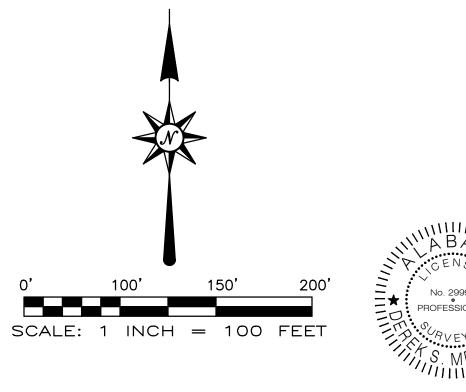
FOUND CONCRETE MONUMENT

IRON PIN SET (5/8" REBAR w/CAP)

VICINITY MAP SITE JEFFERSON COUNTY-LEEDS, ALABAMA NOT TO SCALE

LOT 2 HILLARY DRUMMOND ADD TO ELLIOT LANE

MAP BOOK 253, PG 49



FOUND 3" CAP PIPE NE COR OF THE SW 1/4 OF THE SE 1/4 SEC. 29, T-17S, R1E FOUND 3" CAP PIPE NE COR OF THE SE 1/4 OF THE SE 1/4 SEC. 29, T-17S, R1E √ <u>S 89°52'41" W</u> 1332.89' FOUND PK NAIL IN DRIVE ELLIOTT LANE
60' R.O.W., Page 37
Book A980, Page LOT 1 767,824 Sq. Feet 17.63 Acres +/-LOT 1 HILLARY DRUMMOND ADD TO ELLIOT LANE **MAP BOOK 253, PG 49**

FOUND 1" BOLT SE COR OF

THE SW 1/4 OF THE SE

1/4 SEC. 29, T-17S, R1E

S 89°56'28" W

FOUND 1" FLAT BAR

666.61' (M)

666.85' (D)

STATE OF ALABAMA SHELBY COUNTY

The undersigned, <u>Derek S. Meadows</u>, a Registered Land Surveyor in the State of Alabama hereby certify that this plat or map was made pursuant to a survey made by said surveyor and that said survey and this plat or map were made at the instance of said owners; that this plat or map is a true and correct map of lands shown therein and known as <u>Hillary Drummond Add to Elliot Lane Plat No. 2</u>, showing the subdivisions into which it is proposed to divide said lands, giving the length and bearings of the boundaries of each lot and its number, showing the streets, alleys, and public grounds, giving the bearings length, width and name of each street, as well as the number of each lot and block, and showing the relation of the lands to the government survey and that iron pins have been installed at all lot corners and curve points as shown and designated by small solid circles on said plat or map and that all parts of this survey and plat (or drawing) have been completed in accordance with the requirements of the Standards for the Practice of Surveying in the State of Alabama to the best of my knowledge and belief. Said owners also certify that they are the owners of said lands and that the same are subject to a mortgage.

| DATED:, 2016. | OWNER: Hillary Drummond |
|--------------------------------------|----------------------------|
| GONZALEZ - STRENGTH & ASSOC., INC. | Ву: |
| By: Derek S. Meadows, Reg. No. 29996 | ITS: |
| | DATED: 2022 |

STATE OF ALABAMA JEFFERSON COUNTY

DATED:______, 2022.

I, the undersigned, a Notary Public in and for said County and State, do hereby certify that <u>Derek S. Meadows</u>, whose name is signed to the foregoin certificate as surveyor and who is known to me, acknowledged before me, on this date, that after having been duly informed on the contents of said certificate, he executed same voluntarily as such individual with full authority therefor.

Given under my hand this _____ day of _____ , 2022.

My Commission Expires: _____

STATE OF ALABAMA JEFFERSON COUNTY

I, the undersigned, a Notary Public in and for said County and State, do hereby certify that Hillary Drummond, as owner of said property whose names are signed to the foregoing certificate as owner and who are known to me, acknowledged before me, on this date, that after having been duly informed on the contents of said certificate, they executed same voluntarily as such individual with full authority therefor.

Given under my hand this _____ day of _____ , 2022.

Notary Public My Commission Expires: _____

APPROVED: ______ DATE: _____

City of Leeds Planning & Zoning Commission

APPROVED: ______ DATE: _____

City of Leeds Water Works Board

DIRECTOR OF ENVIRONMENTAL SERVICES DATE

Environmental Services Department approval indicates that this document has been reviewed for provision of future or existing sanitary sewers; however this does not mean sanitary sewers have been built or will be built in the future. Any change in Right of Way or Easement boundaries after this date may void this approval.

FINAL PLAT

HILLARY DRUMMOND ADD TO ELLIOT LANE PLAT NO. 2

BEING A SURVEY OF A PARCEL OF LAND SITUATED IN THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 1 EAST, JEFFERSON COUNTY, ALABAMA

GONZALEZ - STRENGTH & ASSOCIATES, INC.
ENGINEERING, LAND PLANNING, & SURVEYING
1550 WOODS OF RIVERCHASE DRIVE SUITE 200
HOOVER, ALABAMA 35244
PHONE: (205) 942-2486
FAX: (205) 942-3033
Gonzalez-Strength.com

ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF

January 2022

JOB# 21-0712

4. SA22-000009 - A request by Schoel Engineering, Applicant, United States Steel, Owner for a preliminary plat - "Grand River Townhomes" located at 9995 Rex Lake Rd, Leeds, AL 35094, TPID 2400264000001000, Zoned PCD - Planned Community Development, Jefferson County

GRAND RIVER SOUTH TOWNHOME DEVELOPMENT LEEDS, AL

DRAWING INDEX

DETAILS

29-31

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| 3 | TOPOGRAPHIC SURVEY AREA 2 |
| 4 | INITIAL CLEARING AND GRUBBING PLAN AREA 1 |
| 5 | INITIAL CLEARING AND GRUBBING PLAN AREA 2 |
| 6 | INTERMEDIATE EROSION AND SEDIMENTATION |
| | CONTROL PLAN AREA 1 |
| 7 | INTERMEDIATE EROSION AND SEDIMENTATION |
| | CONTROL PLAN AREA 2 |
| 8 | DEMOLITION PLAN |
| 9 | TYPICAL ROAD SECTIONS |
| 10 | SITE PLAN AREA 1 |
| 11 | SITE PLAN AREA 2 |
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| | CONTROL PLAN AREA 1 |
| 15 | FINAL EROSION AND SEDIMENTATION |
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| 16-18 | ROAD PROFILES |
| 19-23 | STORM PROFILES |
| 24 | UTILITY PLAN |
| 25-26 | SANITARY PLAN AND PROFILES |
| 27 | CLEARING AND GRUBBING DETAILS |
| 28 | INTERMEDIATE EROSION AND SEDIMENTATION |
| | CONTROL DETAILS |



VICINITY MAP N.T.S.

OWNER

USS Real Estate
610 Preserve Parkway
Suite 200
Hoover, AL 35226
CONTACT: BILLY SILVER
(205) 588-2812

DEVELOPER

NEWCASTLE DEVELOPMENT

121 BISHOP CIRCLE,

PELHAM, AL 35124

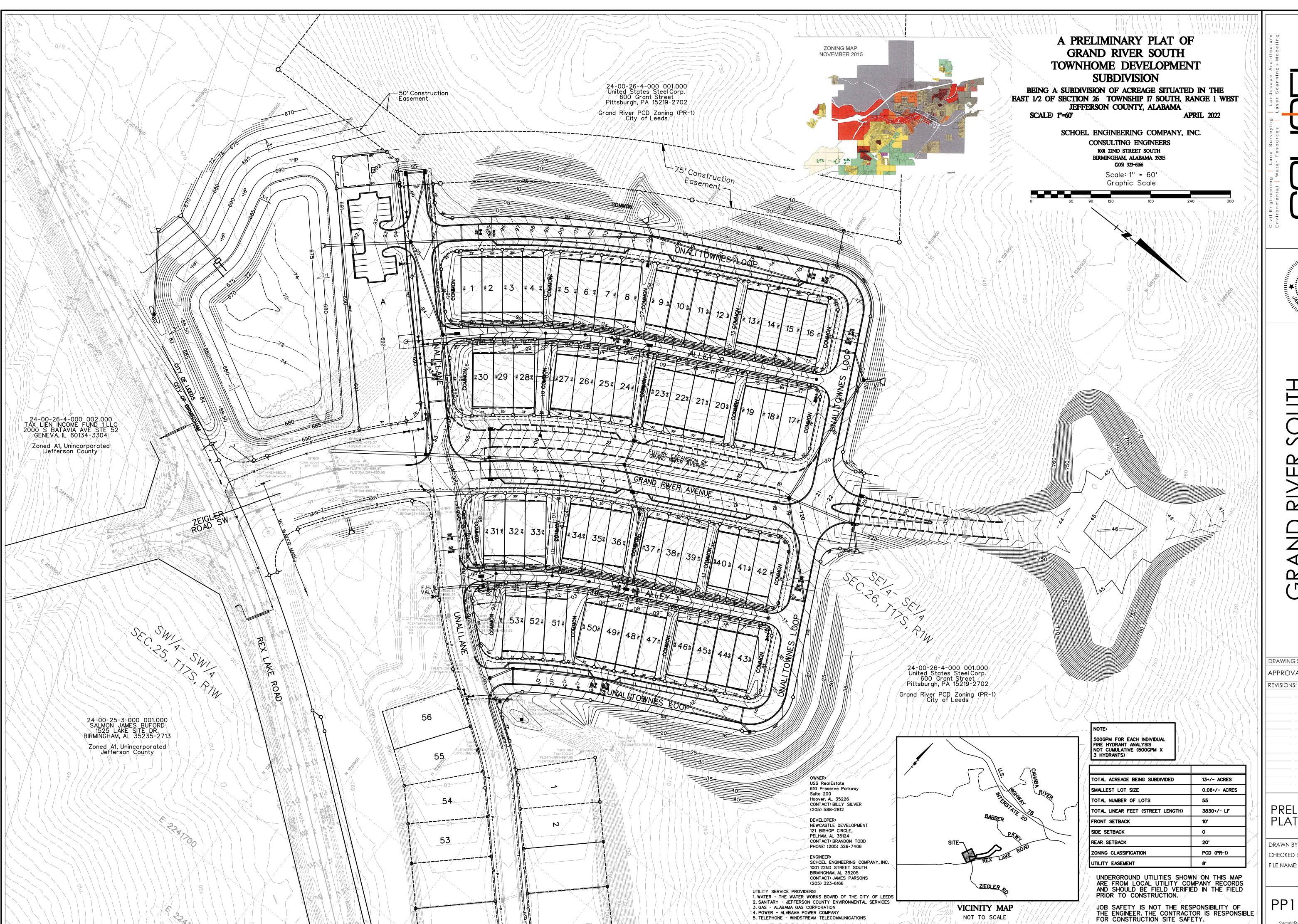
CONTACT: BRANDON TODD

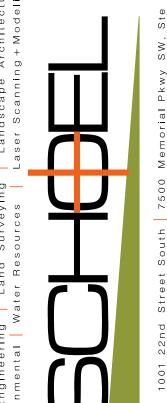
PHONE: (205) 326-7406

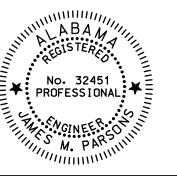
CIVIL ENGINEER

SCHOEL ENGINEERING CO, INC 1001 22ND STREET SOUTH BIRMINGHAM, AL 35205 CONTACT: JAMES PARSONS PHONE: (205) 313-1134









DRAWING SET:

APPROVAL SET 03-14-2022

REVISIONS:

PRELIMINARY

DRAWN BY: SFS/RJS/JMH CHECKED BY: J.M.P. FILE NAME: 21601_PP1

g:/21/601/Civil/Design/

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING APPLICATIONS AND PAYING FOR ALL NECESSARY PERMITS. ALL PERMITS MUST BE IN HAND BEFORE CONSTRUCTION BEGINS.

2. THE CONTRACTOR SHALL PREVENT THE DESTRUCTION OF ALL SURVEY MONUMENTS, BENCHMARKS, PROPERTY CORNERS, AND ALL OTHER SURVEY POINTS. THE CONTRACTOR IS TO INFORM THE CONSULTANT IN WRITING, PRIOR TO THE DISTURBANCE OF ANY MONUMENT, AND IS NOT TO DISTURB THE POINT UNTIL WRITTEN PERMISSION TO DO SO HAS BEEN GRANTED BY THE CONSULTANT

3. ALL EXISTING TREES AND SHRUBS OUTSIDE OF THE LIMITS OF WORK SHALL BE PROTECTED DURING CONSTRUCTION AND ARE NOT TO BE DAMAGED IN ANY MANNER.

4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS THAT ARE TO REMAIN ON OR OFF SITE DUE TO CONSTRUCTION OF THIS PROJECT. ANY DAMAGES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL OF ALL BOULDERS, DEBRIS, EXCESS CONSTRUCTION MATERIALS AND MATERIAL GENERATED FROM ANY DEMOLITION.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING EXISTING UTILITIES LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONSULTANT/SURVEYOR ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OR COMPLETENESS OF THE EXISTING UTILITIES SHOWN ON THE PLANS.

7. UNLESS INDICATED OTHERWISE ON THE PLANS, ALL STORM DRAINAGE PIPES SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76). COMPACTED GRANULAR MATERIAL FOR BEDDING SHALL BE REQUIRED AS SHOWN ON THE PIPE BEDDING DETAIL.

8. UNLESS INDICATED OTHERWISE ON THE PLANS, ALL RIP RAP SHALL E CLASS II, IN ACCORDANCE WITH SECTION 814, ALDOT, LATEST EDITION, AND SHALL BE GROUTED WHERE INDICATED ON THE PLANS.

9. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

10. THE CONTRACTOR SHALL PROVIDE ADEQUATE TRAFFIC CONTROL DEVICES AND SAFETY MEASURES FOR THE CONSTRUCTION WORK WITHIN PUBLIC RIGHTS-OF-WAY AND OTHER AREAS WHICH REQUIRE ITS USE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (M.U.T.C.D.) LATEST EDITION.

11. ALL SIDEWALKS SHALL HAVE A 1.8% MAXIMUM CROSS SLOPE. ALI HANDICAP PARKING, RAMPS, SIGNS, AND SYMBOLS SHALL CONFORM TO THE LATEST AMERICANS WITH DISABILITIES ACT (ADA) SPECIFICATIONS. IF DISCREPANCIES ARISE, THE CONTRACTOR SHALL CONTACT THE CONSULTANT AND ENSURE THAT THESE REQUIREMENTS ARE MET

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXTENT, LOCATION, AND ELEVATION OF THE EXISTING IMPROVEMENTS. F ANY DIFFERENCE IN SITE CONDITION OR ELEVATION IS FOUND, THE CONTRACTOR SHALL NOTIFY THE PROJECT CONSULTANT IMMEDIATELY.

13. THE CONTRACTOR SHALL CHECK THE ARCHITECTURAL AND MEP PLANS WITH THE SITE PLAN FOR ANY DISCREPANCIES BEFORE THE WORK BEGINS. THE CONSULTANT IS NOT RESPONSIBLE FOR ARCHITECTURAL AMD MEP CHANGES AFTER PLANS HAVE BEEN SUBMITTED OR CHANGES MADE DURING CONSTRUCTION.

14. ANY MAJOR CHANGES OR REVISIONS MADE TO THE PLANS AFTER INITIAL APPROVAL SHALL BE OFFICIALLY SUBMITTED FOR APPROVAL TO THE CITY (COORDINATE WITH THE CONSULTANT AS REQUIRED), THE AFFECTED UTILITIES, AND ALL OTHER PERTINENT AGENCIES. APPROVAL OF CHANGES MUST BE RECEIVED BEFORE THE CONTRACTOR PERFORMS THE REQUESTED CHANGES/REVISIONS OR THEY WILL BE AT THE CONTRACTOR'S RISK.

EROSION & SEDIMENT CONTROL CONSTRUCTION SEQUENCE:

1. INSTALL CONSTRUCTION ENTRANCES WITH CRUSHED AGGREGATE BASE COURSE AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC WILL BE ENTERING AND EXITING THE SITE. CONSTRUCTION ENTRANCE USED FOR REMOVAL OF ONSITE MATERIALS SHALL EXTEND TO THE LOADING AREA, BUT IN NO CASE SHALL ANY CONSTRUCTION ENTRANCE BE LESS THAN 50 FEET IN LENGTH OR 6" IN DEPTH. WIDTH SHALL NOT BE LESS THAN 15 FEET.

2. INSTALL SEDIMENT TRAPS (IF ANY ARE INDICATED ON THE PLANS). 3. GRADE IN DRAINAGE SWALES AS NECESSARY TO DIRECT DRAINAGE FROM DISTURBED AREAS TO SEDIMENT TRAPS OR PROTECTED

4. INSTALL SILT FENCES AT INDICATED LOCATIONS. INSTALL STRAW WATTLES AND GRAVEL BAG FILTERS AT STORM SEWER STRUCTURES AS THEY ARE CONSTRUCTED.

5. MULCH, LIME, FERTILIZE, SEED, SOD AND/OR STRAW ALL DISTURBED AREAS IMMEDIATELY FOLLOWING FINAL GRADING, CONTRACTOR SHALL COORDINATE BETWEEN THE EROSION CONTROL PLAN AND LANDSCAPE PLAN AS NECESSARY.

6. WASH DOWN CONSTRUCTION ENTRANCES AS NECESSARY TO LIMIT MUD AND DEBRIS BEING CARRIED ONTO ADJACENT ROADS. DRAINAGE FROM CONSTRUCTION ENTRANCE SHALL BE GRADED TO DRAIN TO SILT FENCES OR OTHER EROSION CONTROL MEASURES.

7. FOLLOWING COMPLETION OF PAVEMENT, STORM SYSTEM, AND MULCHING AND SEEDING ACTIVITIES; FLUSH OR CLEAN ALL SEDIMENT FROM STORM PIPE SYSTEM.

8. WHEN CONSTRUCTION IS COMPLETE AND UPON APPROVAL OF THE LOCAL GOVERNING AGENCY; REMOVE SILT FENCES AND GRAVEL BAG FILTERS, SPREAD AND GRADE COLLECTED MATERIALS, AND MULCH, LIME, FERTILIZE, SEED AND STRAW.

9. REMOVE SEDIMENT FROM DITCHES (PROPERLY DISPOSE OF IF OFFSITE) AND REGRADE TO DEPTH AND SIZE SHOWN ON THE GRADING PLAN. SPREAD AND GRADE COLLECTED MATERIALS, AND

10. REMOVE SEDIMENT TRAPS, AND SEED DISTURBED AREAS. 11. SEE ADEM CONSTRUCTION BEST MANAGEMENT PRACTICES (CBMPP) PLANS FOR ADDITIONAL INFORMATION RELATED TO ADEM PERMITTED SITES. THE REQUIREMENTS AND RECOMMENDATIONS IN THE CBMPP ARE TO BE FOLLOWED TO KEEP THE PROJECT CONFORMANCE WITH THE SITE'S ADEM NPDES PERMIT.

12. ALL EROSION CONTROL DEVISES USED BY THE CONTRACTOR MUST MEET OR EXCEED REQUIREMENTS FOUND IN THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL, AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN

EROSION CONTROL NOTES

1. TEMPORARY EROSION CONTROL DEVICES SHALL BE OBSERVED BY THE OWNER (OR OWNER'S REPRESENTATIVE) ON A PERIODIC BASIS, BUT NOT LESS THAN ONCE PER MONTH, AND THE GRADING CONTRACTOR SHALL MAKE ANY NECESSARY ADJUSTMENTS/REPAIRS AS REQUESTED BY THE OWNER.

2. THE MEASURES SHOWN ON THE PLANS ARE INTENDED FOR CONTROL DURING SITE CLEARING AND GRADING. ADDITIONAL MEASURES MAY BE REQUIRED AS SITE CONDITIONS CHANGE DURING CONSTRUCTION. ADDITIONAL MEASURES REQUIRED FOR COMPLIANCE SHALL BE INCLUDED IN BASE PRICING.

3. COORDINATE SEDIMENTATION AND EROSION CONTROL MEASURES WITH THE CLEARING AND GRUBBING OPERATION. THESE ACTIVITIES MUST OCCUR IN THE PROPER SEQUENCE IN RELATION TO ONE ANOTHER.

4. THE CONTRACTOR WILL INSTALL AND MAINTAIN THE EROSION AND SEDIMENTATION CONTROL MEASURES (BOTH TEMPORARY AND PERMANENT) AS A CONTINUING PROGRAM UNTIL THE SITE WORK IS COMPLETE AND THE SITE IS STABILIZED. THIS INCLUDES, BUT IS NOT LIMITED TO, REPAIRS OF DAMAGE FROM STORMS, REGULAR MAINTENANCE, AND REMOVAL / DISPOSAL OF ACCUMULATED SILT. SILT FENCES AND OTHER EROSION CONTROL DEVICES SHOULD BE INSPECTED AFTER EVERY SIGNIFICANT RAIN EVENT.

5. ALL EROSION CONTROL MEASURES COMPROMISED BY SEDIMENT BUILDUP, INCLUDING RIP RAP, SILT FENCE, HAY DAMS, CHECKS, OR OTHER DEVICES WILL BE REPAIRED OR REPLACED AS NECESSARY AT NO ADDITIONAL COST TO THE OWNER.

6. ANY PIPE, CREEK, OR OTHER STORM DRAINAGE FEATURE SHOWING EVIDENCE OF SEDIMENT ACCUMULATION SHALL BE CLEANED OUT. THE SEDIMENT REMOVED SHALL BE DISPOSED OF IN A LOCATION APPROVED BY THE OWNER OR HIS REPRESENTATIVE.

7. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL OF SILT/SEDIMENT (IF NOT REUSABLE ON-SITE) AND SHALL REMOVE ANY SILT/SEDIMENT BEYOND THE PROPERTY RESULTING FROM CONSTRUCTION OPERATIONS.

8. DO NOT DEPOSIT WASTE, LOOSE SOIL OR OTHER MATERIALS IN LIVE STREAMS, SWALES OR DRAINAGE WAYS, EXCEPT AS APPROPRIATE FOR EROSION CONTROL (E.G. LOG AND BRUSH CHECKS).

9. AFTER THE EROSION ACTIVITY HAS STABILIZED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION CONTROL DEVICES AT THE DIRECTION OF THE OWNER AND CLEANING UP AND DRESSING THE AREA TO THE SATISFACTION OF THE OWNER.

10. SILT FENCES ARE TEMPORARY EROSION CONTROL DEVICES THAT SHALL BE ERECTED OPPOSITE ERODABLE AREAS SUCH AS NEWLY GRADED FILL SLOPES AND ADJACENT TO STREAMS AND CHANNELS. 11. IN FLAT AREAS, SILT FENCES SHOULD BE CONSTRUCTED IN THE SHAPE OF A HORSESHOE, WHENEVER POSSIBLE, SO AS TO AID IN

PONDING AND TO FACILITATE SEDIMENTATION

12. SILT FENCING OR OTHER APPROPRIATE EROSION CONTROL MEASURES AS DIRECTED ON THE PLANS SHALL BE PLACED AT THE DOWNSTREAM EDGE OF ALL DISTURBED AREAS.

13. HAY BALES ARE TEMPORARY EROSION CONTROL DEVICES THAT SHALL BE USED IN CONJUNCTION WITH OTHER EROSION CONTROL DEVICES. BALES MAY BE EITHER HAY OR STRAW CONTAINING FIVE (5) CUBIC FEET OF MATERIAL WEIGHING NOT LESS THAN 35 POUNDS AND SECURED WITH TWO STAKES AS SHOWN IN THE HAY BALE DETAIL.

14. ALL STORM SEWER INLETS IN DISTURBED AREAS OR IN OTHER AREAS SUBJECT TO POTENTIAL INFLOW OF SEDIMENT SHALL BE PROTECTED AT A MINIMUM WITH WATTLES AND SILT FENCE.

15. ADDITIONAL SILT FENCES, WATTLES OR CHECK DAMS MAY BE REQUIRED TO CONTROL SILTING OR EROSION AS CONSTRUCTION PROGRESSES AND SHALL BE INCLUDED IN PRICING

16. ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR MORE THAN 13 DAYS MUST BE SEEDED AND MULCHED. 17. AS NECESSARY, ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL PREVENT SILT FROM LEAVING THE PROJECT CONFINES DUE TO EXTREME WEATHER CONDITIONS OR ACCIDENTS.

18. ANY DISTURBANCE OF SOIL AND VEGETATION OUTSIDE THE LIMITS OF THE CLEARING LINE WILL NOT BE PERMITTED UNDER ANY CONDITION. IF DISTURBANCE OCCURS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMEDIATE THE AREA AT NO ADDITIONAL COST TO THE WITH THE TABLE ON THE PLANS.

19. PREVENT RUN-ON AND RUN-OFF FROM SOIL PILES BY SURROUNDING PILE WITH WATTLES AND/OR SILT FENCE.

20. PREVENT AND CONTROL SOIL EROSION AND GULLYING WITHIN THE PROPERTY COVERED BY CONTRACT AND THE ADJACENT PROPERTIES AS A RESULT OF CONSTRUCTION.

21. CONSTRUCT ROADSIDE DITCHES AS REQUIRED DURING ROAD CONSTRUCTION TO ALLOW STORM RUNOFF TO DRAIN.

22. ALL CONSTRUCTION STREAM CROSSINGS SHALL HAVE A 24" DIAMETER PIPE (OR LARGER, AS SUGGESTED BY THE CONSULTANT) INSTALLED TO CONVEY RUNOFF. THE AREA WHERE THE ROAD CROSSES THE STREAM SHALL BE RIP-RAPPED AS REQUIRED TO PREVENT SEDIMENT WASH-OFF FROM THE ROAD.

23. AN ACCESS ROUTE SUFFICIENT TO ALLOW THE USE OF APPROPRIATE MAINTENANCE EQUIPMENT SHALL BE EXTENDED TO EACH STRUCTURAL EROSION CONTROL DEVICE.

24. THE CONTRACTOR IS RESPONSIBLE FOR PROPER COLLECTION, STORAGE, AND DISPOSAL OF SOLID AND SANITARY WASTES. DISPOSAL OF THESE WASTES SHALL BE OFF-SITE IN AN APPROPRIATELY PERMITTED FACILITY.

25. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER ON-SITE HANDLING USE, STORAGE, AND DISPOSAL OF PAINTS, SOLVENTS, CHEMICALS, PESTICIDES, HERBICIDES, FERTILIZERS, OILS, GREASE, FUEL, AND OTHER HAZARDOUS MATERIALS USED DURING THIS PROJECT. APPROPRIATE SPILL PREVENTION SHOULD BE PROVIDED FOR ANY CHEMICAL OR HAZARDOUS MATERIAL TO REDUCE EXPOSURE AND AND CONTAMINATION OF SOILS, STREAMS, CHANNELS, AND STORM WATER RUNOFF.

26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE NPDES PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST.

28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

PAVEMENT CONSTRUCTION: GENERAL NOTES:

1. ALDOT, LATEST EDITION, SHALL MEAN ALABAMA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.

CRUSHED AGGREGATE BASE COURSE PLANT MIXED SHALL PLACED IN ACCORDANCE WITH SECTION 301, ALDOT, LATEST EDITION. ALL MATERIALS SHALL BE IN ACCORDANCE WITH SÉCTION 825, TYPE B, 100% COMPACTION.

3. PORTLAND CEMENT CONCRETE PAVEMENT SHALL BE PLACED IN ACCORDANCE WITH SECTION 450, ALDOT, LATEST EDITION.

4. BITUMINOUS CONCRETE BINDER LAYER SHALL BE PLACED IN ACCORDANCE WITH SECTION 424-B, ALDOT, LATEST EDITION.

5. BITUMINOUS CONCRETE WEARING SURFACE LAYER SHALL BE PLACED IN ACCORDANCE WITH SECTION 424-A, ALDOT, LATEST

6. THE SITE SHALL BE CLEARED, AND ALL UNSUITABLE MATERIALS

REMOVED PRIOR TO PLACING AND COMPACTING ENGINEERED FILL. 7. ALL SUBGRADES SHALL BE CLEARED AND GRUBBED, SCARIFIED TO A DEPTH OF 6", AND THEN RECOMPACTED TO 100% OF THE MAXIMUM DRY DENSITY, PLUS OR MINUS 2% OF OPTIMUM MOISTURE (ASTM-D6798).

8. IN ROCK EXCAVATION, A MINIMUM OF 1 FOOT OF SOIL SHALL BE PLACED OVER ROCK PRIOR TO PLACEMENT OF BASE MATERIAL.

9. CONCRETE WHEEL STOPS ARE TO BE PRECAST 2500 PSIMIN. COMPRESSIVE STRENGTH CONCRETE 5"HX9"WX72"L. WHEEL STOPS ARE TO BE SECURELY ATTACHED TO PAVEMENT WITH A MINIMUM OF 2-3/8"X18" GALVANIZED STEEL DOWLS EMBEDDED IN WHEEL STOPS 11" FROM ENDS, AND FIRMLY BONDED TO WHEEL STOPS AND PAVEMENT.

10. PAVEMENT MARKING PAINT SHALL BE ALKYD-RESIN TYPE READY-MIXED, COMPLYING WITH FS TT-P-115, TYPE I, AASHTO M-248, TYPE N. OR LATEX WATER-BASED EMULSION, READY-MIXED, COMPLYING WITH FS TT-P-1952. APPLY PAVEMENT MARKING PAINT WITH MECHANICAL EQUIPMENT, PER THE MANUFACTURES RECOMMENDATIONS TO PRODUCE PAVEMENT MARKINGS OF DIMENSIONS INDICATED ON THE PLANS WITH UNIFORM, STRAIT EDGES, AND MINIMUM WET FILM THICKNESS OF 15 MILS. (0.4MM)

11. PAINTING OF PAVEMENT MARKINGS SHALL NOT BEGIN UNTIL PAVEMENT HAS ENDURED ADEQUATE CURING TIME AND UNTIL TH PAVEMENT SURFACE HAS BEEN POWER BROOMED AND HAND SWEPT AS NECESSARY TO REMOVE LOOSE MATERIAL AND SOIL.

12. THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM ADJOINING STREETS DURING CONSTRUCTION. ANY DAMAGE TO ADJOINING AND EXISTING STREETS MUST BE REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION.

REPAIRED WITH MATERIAL AND DEPTHS IN KIND TO THAT REMOVED AND SHALL MEET PATCHING REQUIREMENTS OF THE MUNICIPALITY. 14. TEMPORARY AND PERMANENT PATCHING SHALL MEET THE

13. UNLESS NOTED OTHERWISE, ALL PAVEMENT CUTS SHALL BE

REINFORCED CONRETE NOTES:

REQUIREMENTS OF THE GOVERNING ENTITY.

1. ALL CONCRETE SHALL BE AIR ENTRAINED 3500 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS, (CLASS "A."), UNLESS NOTED OTHERWISE ON THE PLANS OR REQUIRED OTHERWISE BY GOVERNING ENTITY.

2. ALL CONSTRUCTION JOINTS SHALL BE CONSTRUCTED WITH CONTINUOUS SHEAR KEYS IN ACCORDANCE WITH THE SHEAR KEY DETAIL ON THE PLANS.

3. ALL REINFORCING STEEL GOVERNED BY THE CIVIL ENGINEERING DRAWINGS, SHALL BE GRADE 60 DEFORMED BARS, AND SHALL CONFORM TO STM A615, FOR BILLET STEEL (UNLESS NOTED OTHERWISE).

4. LAP SPLICES AND BAR EMBEDMENT SHALL BE IN ACCORDANCE WITH THE TABLE ON THE PLANS. 5. CONCRETE AIR CONTENT AND SLUMP SHALL BE IN ACCORDANCE

6. ALL REINFORCING BARS SHALL BE SHOP BENT IN ACCORDANCE WITH THE TABLE ON THE PLANS. HEATING OF REINFORCING BARS TO BEND THEM OR STRAIGHTEN THEM WILL NOT BE ALLOWED.

7. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, SMOOTH FABRIC WITH AN ASTM YIELD STRENGTH OF 65,000 PSI.

WATER SYSTEM NOTES:

1. ALL WATER LINES FOUR INCHES AND LARGER SHALL BE DUCTILE IRON PIPE, CLASS 350, CONFORMING TO ANSI A21.51, WITH 250 PSI WORKING PRESSURE. ALL FITTINGS FOUR INCHES (4") AND LARGER SHALL BE CASTRON (PUSH-ON TYPE OR MECHANICAL JOINT) CONFORMING TO ANSI AND AND ASTANDARD SPECIFICATIONS. AWWA STANDARD SPECIFICATIONS.

. THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, PLUGS, AND FIRE HYDRANTS IN THE WATER MAIN SYSTEM.

3. ALL GATE VALVES SHALL BE PROVIDED WITH A ROADWAY SCREW TYPE CAST IRON VALVE BOX. BOXES FOR VALVES THREE INCHES (3") AND SMALLER SHALL HAVE ARCH BASE.

. VALVES FOUR INCHES (4") AND LARGER SHALL BE CAST IRON WITH PARALLEL DOUBLE DISC GATE VALVES. VALVES SHALL HAVE MECHANICAL JOINT ENDS AND NON-RISING STEMS WITH SQUARE OPERATING NUT.

5. ALL FIRE HYDRANTS SHALL BE M&H OR MUELLER AND HAVE A FIVE INCH STORZ CONNECTOR AS AN INTEGRAL PART OF THE HYDRANT, PER THE WATER WORKS BOARD OF THE CITY OF LEEDS.

6. ALL WATER MAINS SHALL HAVE 36" OF COVER (MINIMUM)

7. AUTOMATIC FLUSH VALVES SHALL BE INSTALLED AT THE END OF CULDESACS OR ANY DEAD END LINE. FLUSH VALVES SHALL BE HYDRO-GUARD HG-1.

8. ALL RESIDENTIAL SERVICE LINE TAPS SHALL BE 1" REHAU (BLUE TUBING) OR (TYPE K COPPER) WITH Y CONNECTOR FOR DOMESTIC AND SPRINKLER 3/4 " TAP. TURI UP SERVICE STUBS SHALL BE COVERED WITH PVC PIPE AND PAINTED BLUE.

9. ALL LONG SIDE SERVICES SHALL BE INSTALLED PRIOR TO ROADWAY CONSTRUCTION AND SHALL BE IN 1-1/2" OR 2" PVC CASING.

10. THERE SHALL BE 2 METER BOXES INSTALLED FOR EACH LOT (1 FOR DOMESTIC AND FOR IRRIGATION). THESE SHALL BE PURCHASED BY CONTRACTOR AND INSTALLED BY 11. MCDONALD OR MUELLER CURB STOPS SHALL BE USED FOR CORPORATION TAPS (NO

12.6" MUELLER OR M&H VALVES SHALL BE INSTALLED AT EACH INTERSECTION (RESILIENT SEAT), UNLESS OTHERWISE NOTED ON PLANS. 13. NO FOREIGN FITTINGS WILL BE ALLOWED.

14. ALL WATER MAINS AND RELATED APPURTENENCES SHALL BE INSTALLED PER THE WATER WORKS BOARD OF THE CITY OF LEEDS.

<u>EARTHWORK GENERAL NOTES</u>

1. THE SITE TOPOGRAPHY AND OTHER TOPOGRAPHIC DATA SHOWN ON THE PLANS OR INCLUDED IN THE SPECIFICATIONS ARE FOR THE INFORMATION OF THE CONTRACTOR. THE CONTRACTOR SHALL MAKE SUCH ADDITIONAL INVESTIGATIONS AS REQUIRED TO ACQUAINT HIMSELF ADEQUATELY WITH THE SITE, INCLUDING SUBSURFACE SOIL CONDITIONS, FOR PREPARATION OF HIS BID, AND FOR THE SUCCESSFUL EXECUTION OF THE WORK.

2. UNLESS INDICATED OTHERWISE ON THE PLANS, ALL PROPOSED CONTOURS AND ALL PROPOSED SPOT ELEVATIONS SHOWN ARE TO FINISHED GRADE. THE CONTRACTOR SHALL MAKE SUBGRADE ADJUSTMENTS FOR TOPSOIL, PAVING, BUILDING PAD, ETC.

3. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE PROTECTION OF HIS WORK. SUCH GRADING AS IS REQUIRED FOR THIS PURPOSE SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. THE OWNER MAY DIRECT THE CONTRACTOR TO PERFORM SUCH GRADING AND DRAINAGE AS IS NECESSARY TO PREVENT SURFACE RUNOFF FROM DAMAGING THE WORK.

4. ALL EARTH FILL SHALL BE COMPACTED IN ACCORDANCE WITH PROJECT SPECIFICATIONS, GEOTECHNICAL RECOMMENDATIONS, OR GOVERNING MUNICIPALITY STANDARDS, WHICHEVER IS GREATER.

5. ALL EARTH FILL SHALL BE PLACED IN UNIFORM LAYERS OR LIFTS NOT EXCEEDING 6" IN COMPACTED THICKNESS, UNLESS INDICATED OTHERWISE ON THE PLANS.

6. ALL EARTH FILL SHALL BE PLACED IN ACCORDANCE WITH SECTION 210, ALDOT, LATEST EDITION. ALL EARTH FILL UNDER BUILDINGS SHALL ALSO MEET REQUIREMENTS OF THE ARCHITECT'S PLANS AND SPECIFICATIONS.

7. IF A GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THE SITE THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING THE SITE PREPARATION RECOMMENDATIONS SPECIFIED WITHIN THIS DOCUMENT, UNLESS MORE STRINGENT REQUIREMENTS ARE GIVEN ON THE PLANS.

8. ANY EXCESS EXCAVATION CREATED BY GRADING OPERATIONS SHALL BE CONSIDERED WASTE AND SHALL BE HAULED OFF AND DISPOSED OF LEGALLY AT THE CONTRACTOR'S EXPENSE OR NEGOTIATED WITH OWNER TO DISPOSE OF ON SITE.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING DRAINAGE AWAY FROM THE EXISTING AND PROPOSED BUILDINGS, CONCRETE PAVING, AND SIDEWALKS. THERE SHALL BE NO PONDING OF WATER ON THE

10. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND CONDITIONS OF ALL UTILITIES TO BE UTILIZED FOR CONSTRUCTION SERVICE HOOK UPS, STORM SEWERS, AND SANITARY SEWERS PRIOR TO PROCEEDING WITH THE LAYING OF PIPE. THE CONTRACTOR SHALL NOTIFY THE PROJECT CONSULTANT IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES. ALL SERVICE CONNECTIONS TO UTILITIES SHALL BE APPROVED BY THE RESPECTIVE UTILITY AND SHALL CONFORM TO THE LATEST SPECIFICATIONS.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL UTILITY LOCATIONS WITH THE LOCAL UTILITIES. CONTACT WITH EACH UTILITY SHOULD BE MADE BY THE CONTRACTOR BEFORE ANY CONSTRUCTION BEGINS ON THIS PROJECT.

12. CONTRACTOR TO COORDINATE ANY UTILITY SHUTOFFS WITH OWNER 7 DAYS PRIOR TO WORK. ALL EFFORTS SHOULD BE MADE TO MINIMIZE SHUTOFF TO UTILITIES SERVING OTHER FACILITIES. 13. UNSTABLE AND PUMPING SUBGRADE CONDITIONS MAY OCCUR

DURING SITE PREPARATION AND UNDERCUTTING OPERATIONS. PROPER PROTECTION OF SUBGRADE, DRAINAGE, AND DEWATERING WILL BE CRITICAL TO SITE CONSTRUCTION EFFORTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MINIMIZE EQUIPMENT TRAFFIC ACROSS THE SITE. EVERY EFFORT SHALL BE MADE TO LOCALIZE EQUIPMENT TAGGING AND TRAFFIC TO SPECIFIC AREAS AND LIMIT THE AMOUNT OF UNDERCUTTING AND SOIL STABILIZATION THAT MAY BE NEEDED.

14. THE CONTRACTOR IS TO COORDINATE ALL EARTHWORK WITH THE GEOTECHNICAL EVALUATION. IF NO GEOTECHNICAL REPORT HAS BEEN PERFORMED, THE CONSULTANT ASSUMES NO LIABILITY IN SITE FEATURES THAT RELY ON GEOTECHNICAL EVALUATIONS SUCH AS PAVEMENT BUILD-UP (DESIGN), WALLS, ETC. SPECIFIC CONSTRUCTION CONCERNS AND ACTUAL CONSTRUCTION MEANS AND METHODS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND FAMILIARIZING HIMSELF WITH THE SITE AND WITH THE GEOTECHNICAL REPORT IF ONE IS PERFORMED AT A LATER DATE.

| MONONEN | | 117 / |
|---|-----------------|---------------------------------------|
| MAJOR CONTOURS | 690 | 685 |
| MINOR CONTOURS | 544 | |
| SPOT ELEVATIONS | 16.29 | +503.26 |
| DEMOLITION | N/A | XXXXX |
| RIGID CONCRETE PAVING | | \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ |
| CONCRETE SIDEWALK | | |
| HEAVY DUTY ASPHALT | N/A | |
| LIGHT DUTY ASPHALT | N/A | |
| PROPERTY LINE | | |
| FENCE | × × × | × × × |
| COMMUNICATION BOX | Осомм | Псом |
| ELECTRIC BOX | EB | |
| SANITARY SEWER MANHOLE | O _{MH} | |
| POWER POLE | OP. POLE | 0 |
| LIGHT POLE | ° LP | O LP |
| WATER VALVE | ° WV | LP |
| FIRE HYDRANT | ° FH | |
| | | M |
| WATER METER | M 9 0 1 / | |
| GAS VALVE | ° GV | N/A |
| SIGN | °SIGN | 0 |
| GUY WIRE | | N/A |
| GRATE INLET | | |
| STORM MANHOLE | | |
| SINGLE WING INLET | | |
| DOUBLE WING INLET | | |
| HEADWALL | | |
| STORM SEWER LINE | ======: | |
| RAIN LEADER | N/A | |
| DOMESTIC WATER LINE | Dw | DW |
| UNDERGROUND TELEPHONE LINE | T | 1 |
| FIBER OPTIC LINE | F0 | —— |
| OVERHEAD UTILITY LINE | | |
| UNDERGROUND ELECTRIC LINE | P | ——Р—— |
| SANITARY SEWER LINE | s | ——s— |
| WATER LINE | w | w |
| NATURAL GAS LINE | G | |
| TREES | (3) | SEE LANDSCAPE PLAN IF APPLICABLE |
| TEMPORARY SILT FENCE | N/A | -#-#- |
| TEMPORARY STONE CHECK DAM | N/A | |
| TEMPORARY STRAW WATTLE | N/A | 0 |
| PUMP STATION | O _{PS} | |
| FORCE MAIN | FM | ———FM ——— |
| FIRE WATER LINE | FW | FW |
| FIRE DEPARTMENT CONNECTION | °FDC | °FDC |
| TRANSFORMER PAD | T | |
| TRAFFIC SIGNAL POLE | °TSP | OTSP |
| | | |
| | 131 | N / A |
| FORCE MAIN WITH ARROW | > | N/A |
| FORCE MAIN WITH ARROW CHILLED WATER | cw | N/A |
| FORCE MAIN WITH ARROW CHILLED WATER CHILLED WATER RETURN | | N/A N/A |
| FORCE MAIN WITH ARROW CHILLED WATER CHILLED WATER RETURN STEAM LINE | CW | N/A N/A N/A |
| FORCE MAIN WITH ARROW CHILLED WATER CHILLED WATER RETURN STEAM LINE CABLE LINE | CW | N/A N/A N/A |
| FORCE MAIN WITH ARROW CHILLED WATER CHILLED WATER RETURN STEAM LINE CABLE LINE UNKNOWN UTILITIES | | N/A N/A N/A N/A |
| FORCE MAIN WITH ARROW CHILLED WATER CHILLED WATER RETURN STEAM LINE CABLE LINE | CW | N/A N/A N/A |

LEGEND

EXISTING*

PROPOSED**

N/A

DESCRIPTION

MONUMENT

NATURAL GAS SYSTEM NOTES:

SPIRE IS TO FURNISH AND INSTALL NEW GAS MAINS, METERS, ETC., AS REQUIRED TO SERVE THIS PROJECT. CONTRACTOR TO COORDINATE THEIR WORK WITH SPIRE.

PRIMARY ELECTRICAL DISTRIBUTION SYSTEM NOTES:

1. ALABAMA POWER COMPANY IS TO FURNISH AND INSTALL NEW SERVICES, METERS, ETC., AS REQUIRED TO SERVE THIS PROJECT. CONTRACTOR TO COORDINATE THEIR WORK WITH ALABAMA POWER COMPANY.

PRIMARY COMMUNICATION DISTRIBUTION SYSTEM NOTES

1. WINDSTREAM IS TO FURNISH AND INSTALL NEW SERVICES, ETC., AS REQUIRED TO SERVE THIS PROJECT. CONTRACTOR TO COORDINATE THEIR WORK WITH WINDSTREAM.

SPECTRUM IS TO FURNISH AND INSTALL NEW SERVICES, ETC., IS REQUIRED TO SERVE THIS PROJECT. CONTRACTOR TO COORDINATE THEIR WORK WITH SPECTRUM.

GENERAL CONSTRUCTION NOTES:

1. ALL UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM LOCAL UTILITY COMPANY RECORDS AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

2. JOB SAFETY IS NOT THE RESPONSIBILITY OF THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SITE SAFETY. 3. CONTRACTOR SHALL COORDINATE DEPTH OF UTILITIES AND STORM DRAINAGE. ADJUST PRESSURE UTILITIES AROUND GRAVITY AS NEEDED

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***ADDITIONAL NOTES ON EACH SHEET IN THIS PLAN SET MUST BE FOLLOWED.

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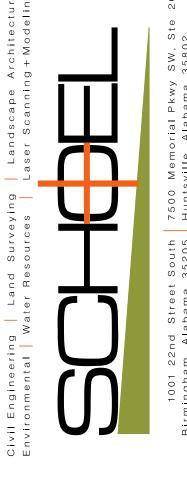
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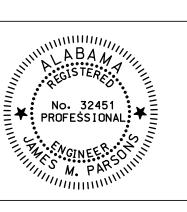
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GRAND RIVER SOUTH OWNHOME DEVELOPME LEEDS, AL

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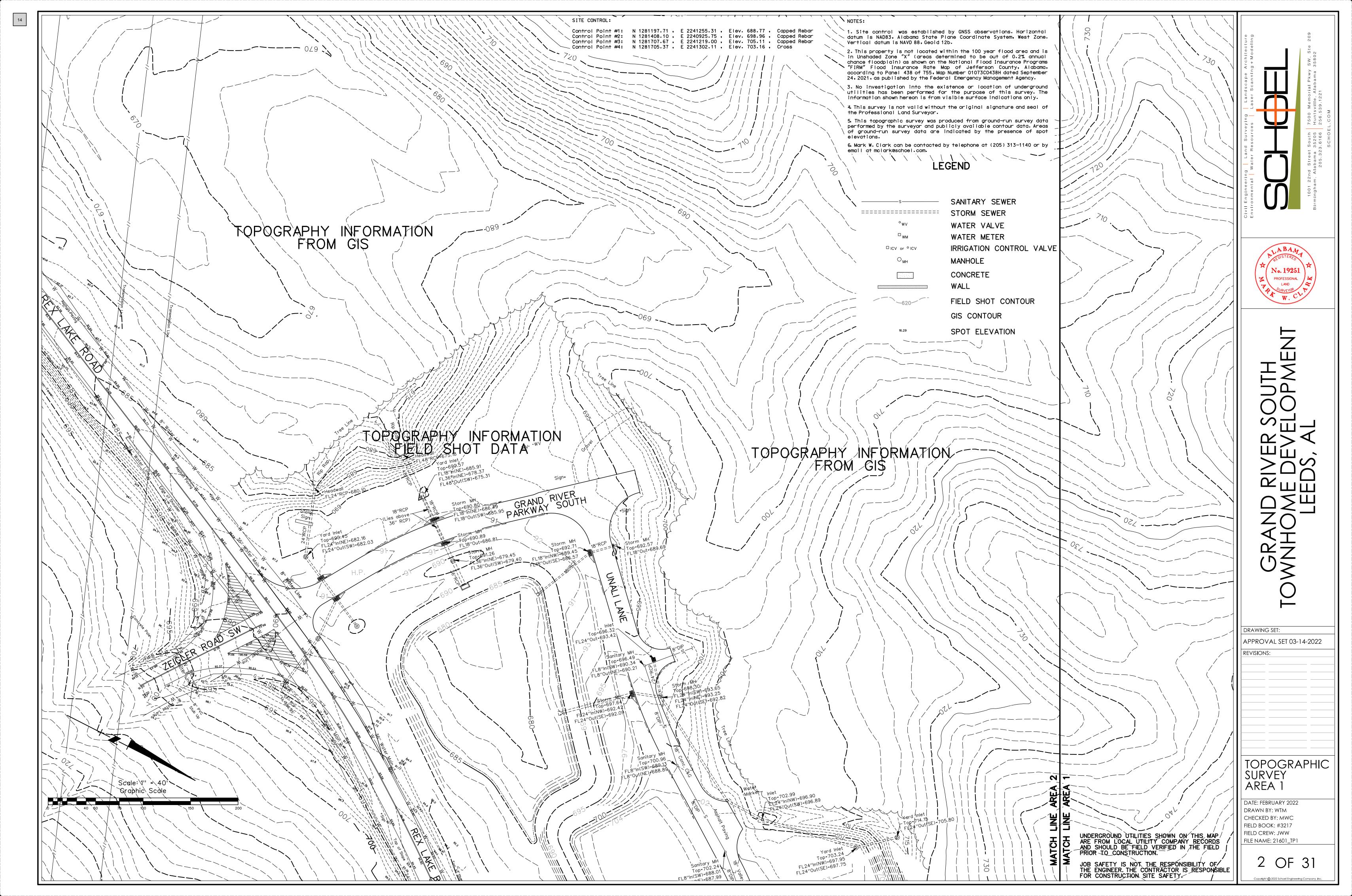
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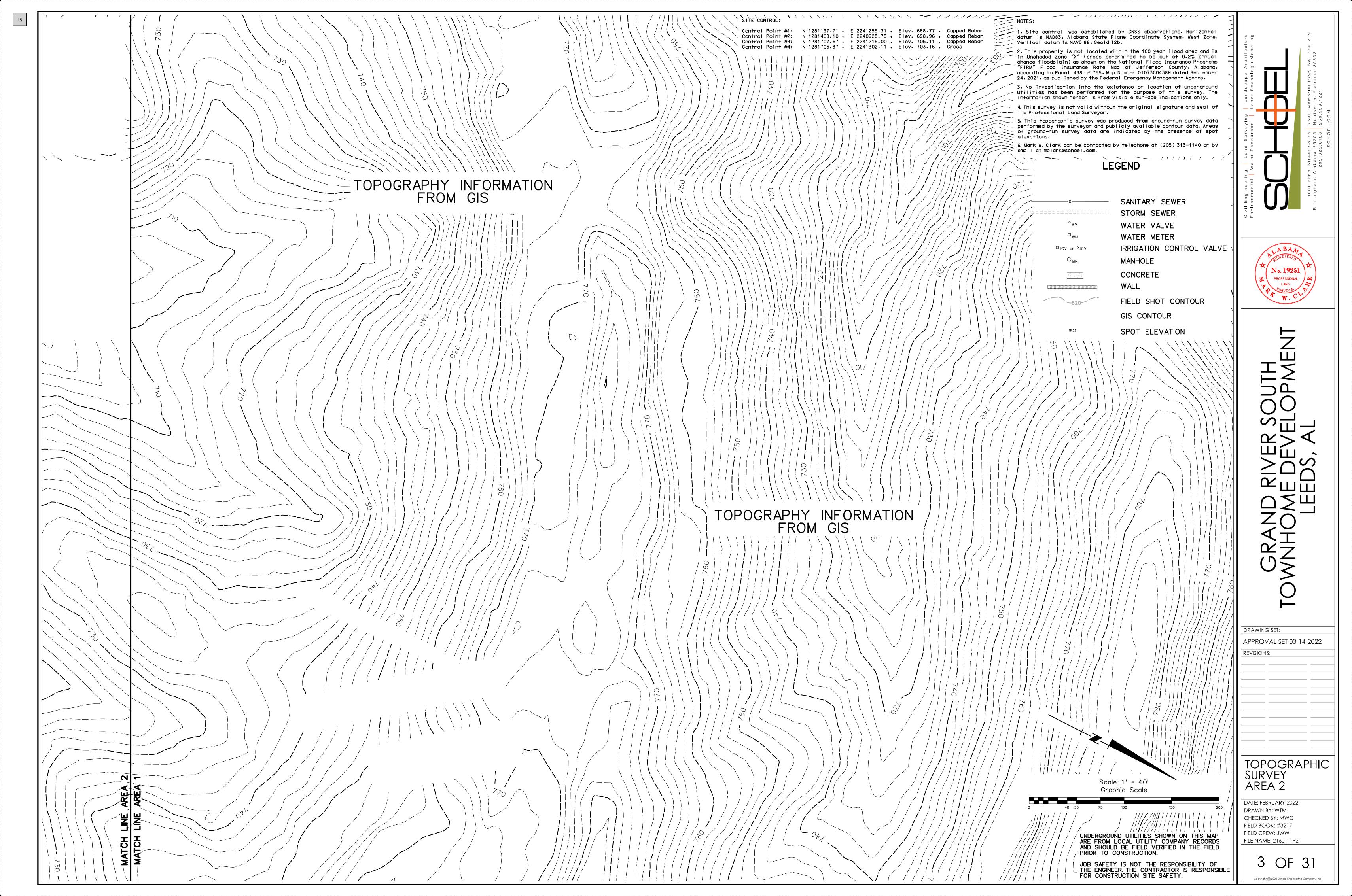
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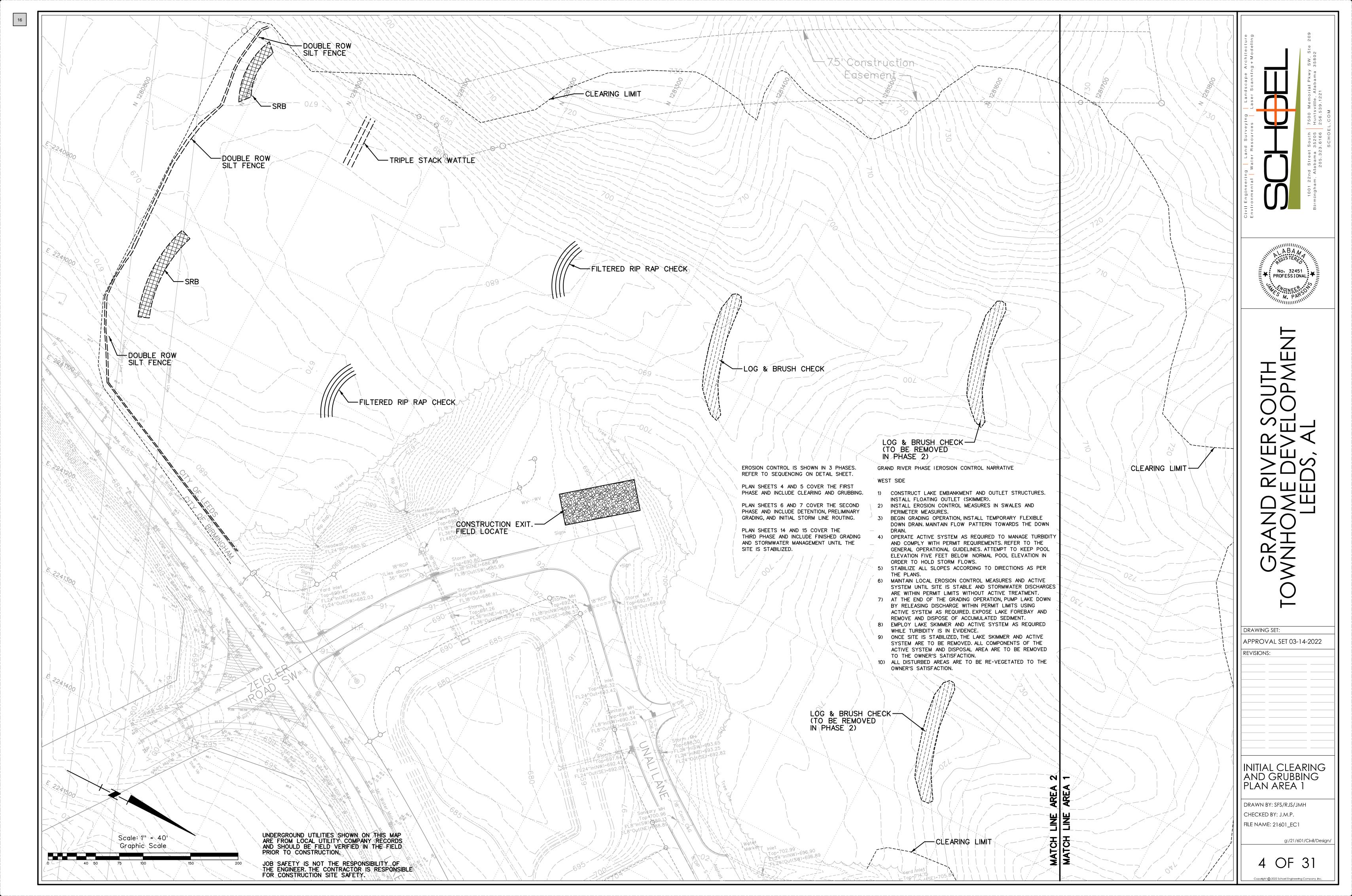
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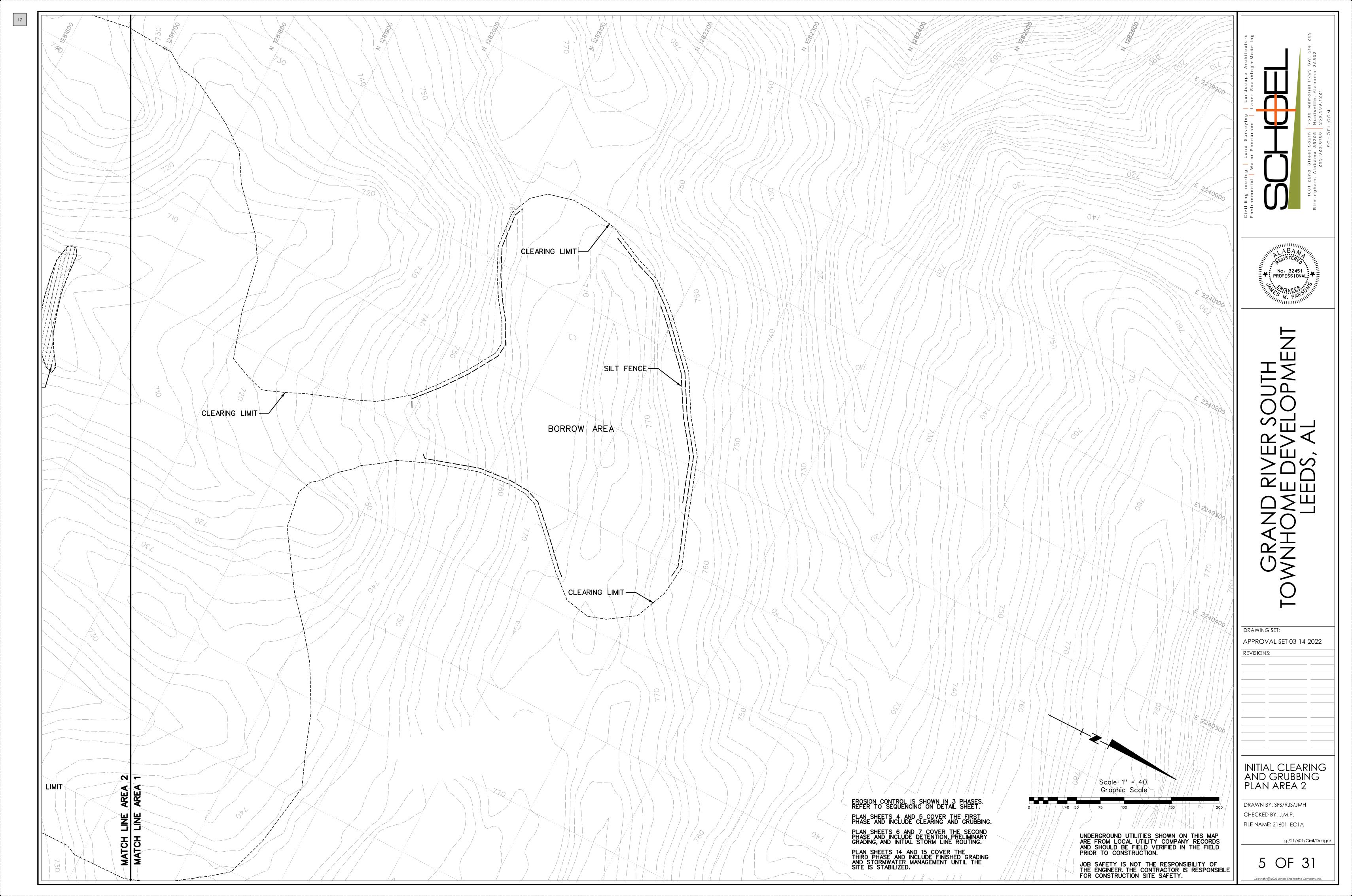
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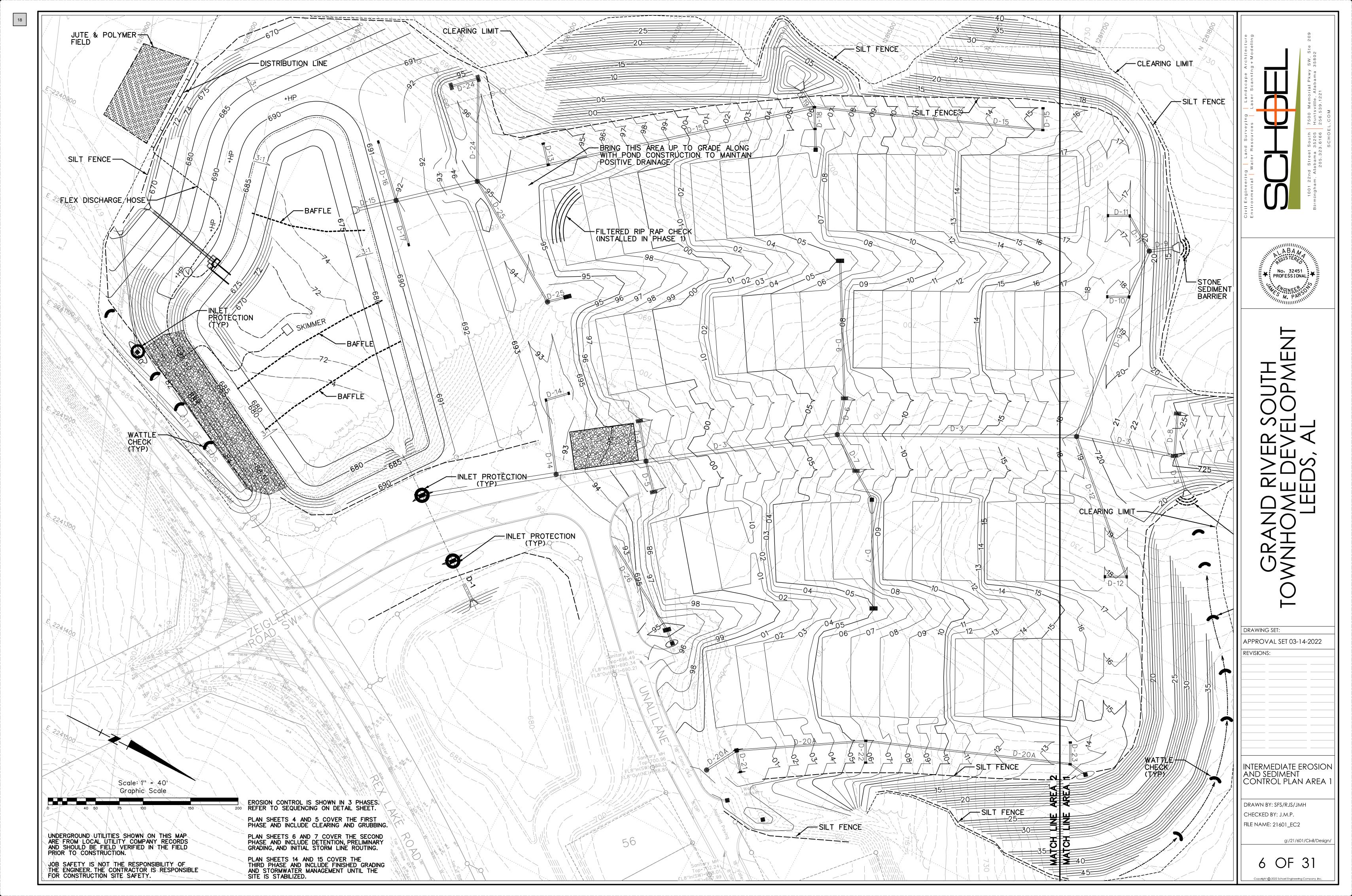
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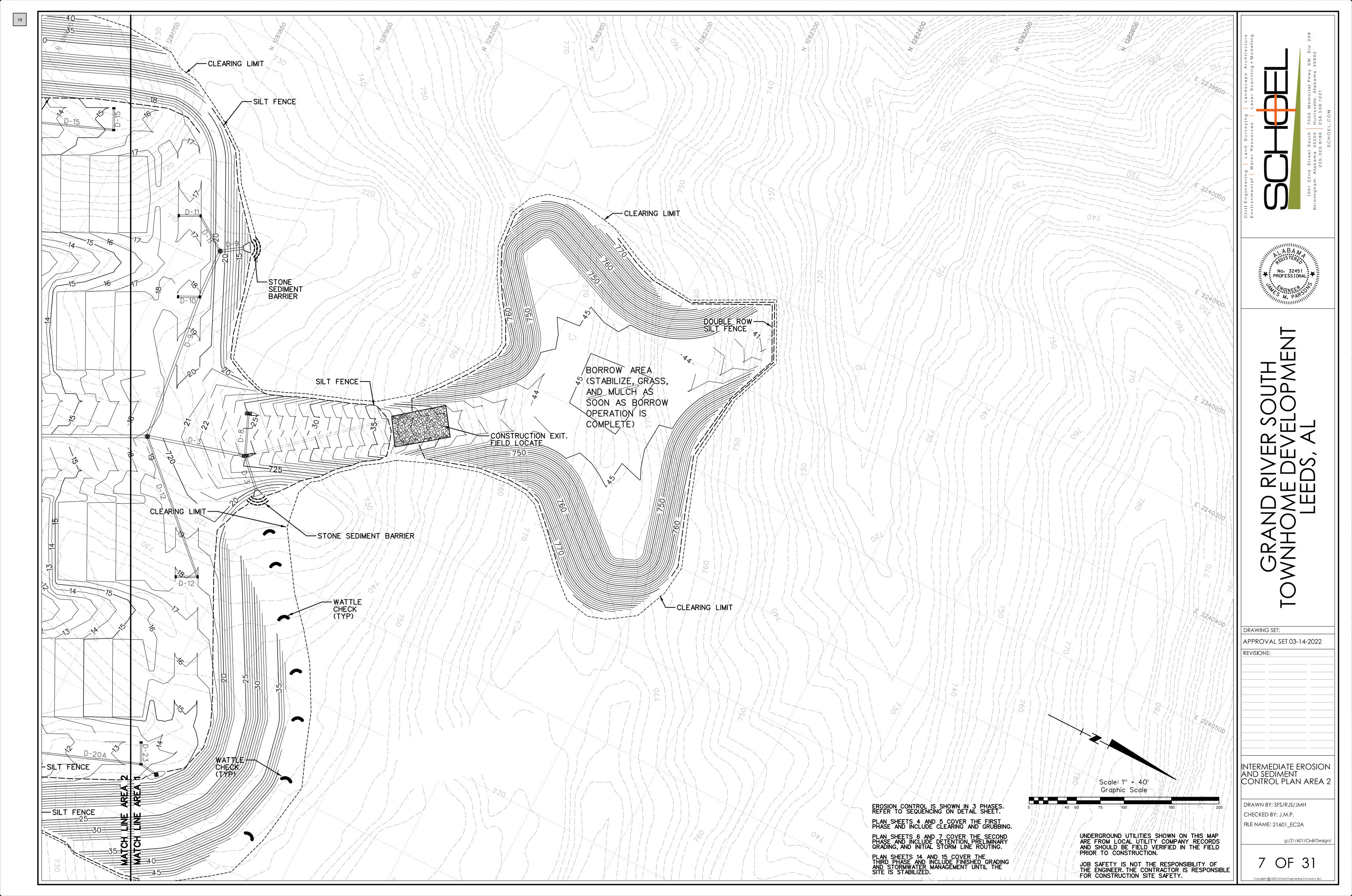






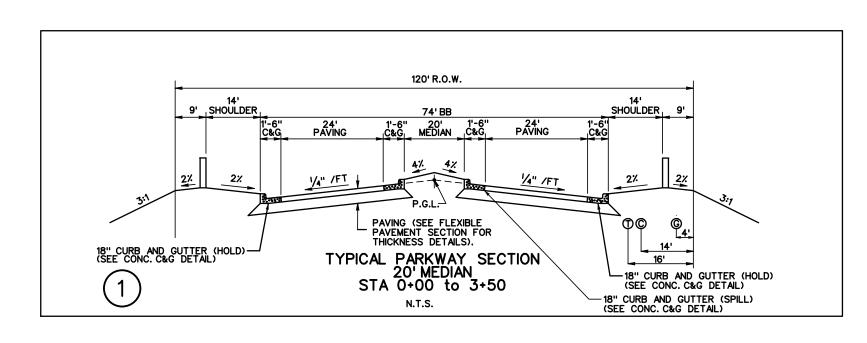


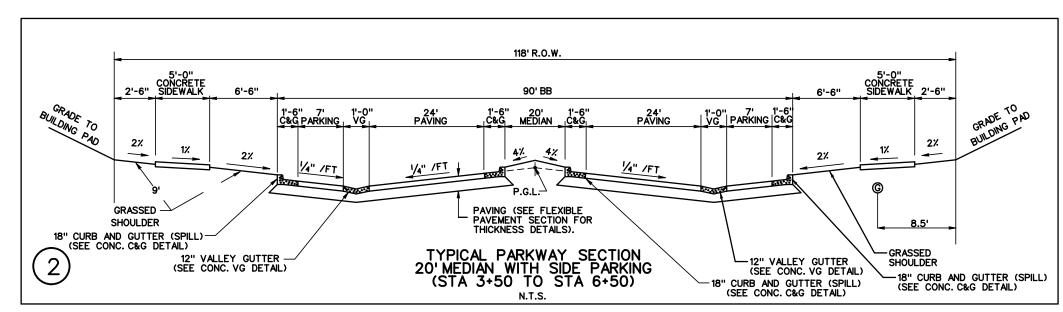


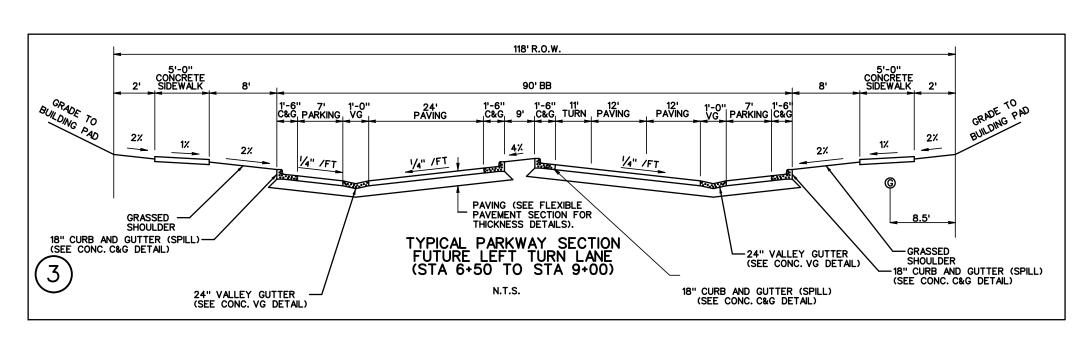


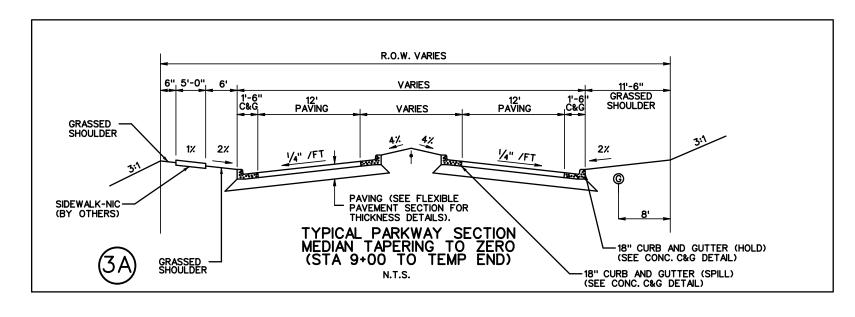


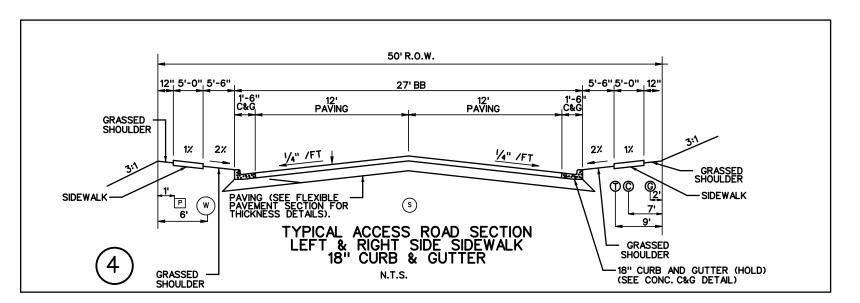
SEE LAYOUT PLAN FOR TRANSITION AREAS
SEE GRADING PLAN FOR ADDITIONAL INFORMATION

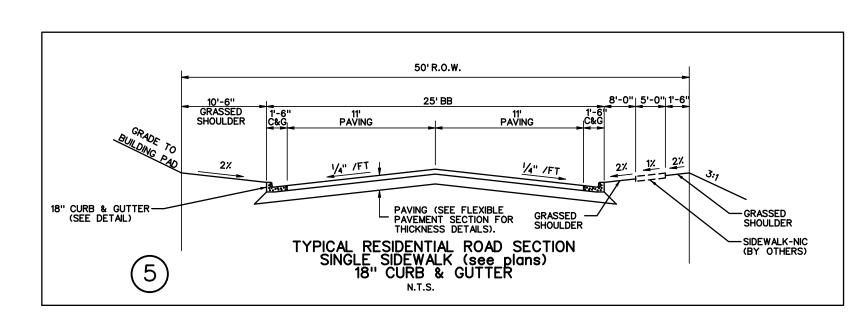


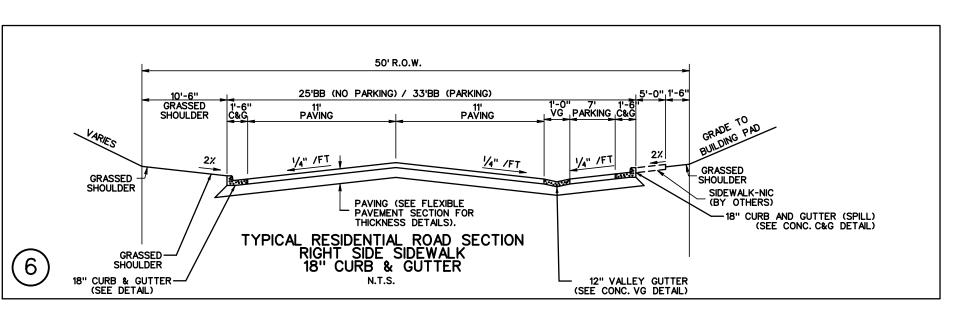


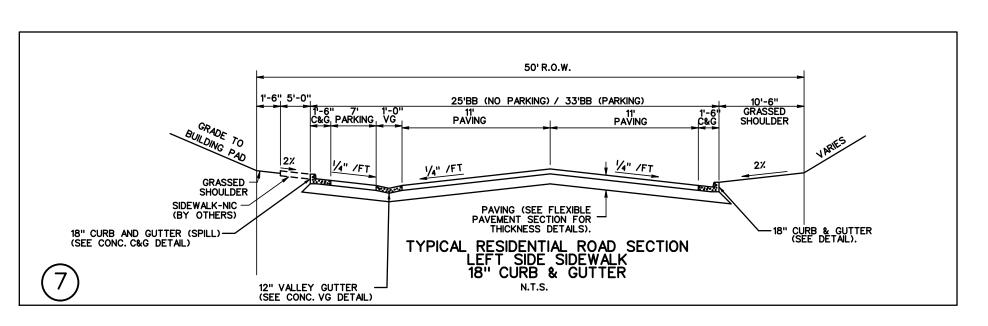


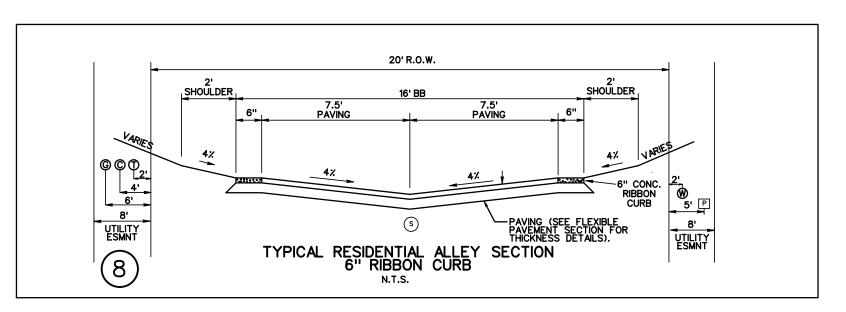


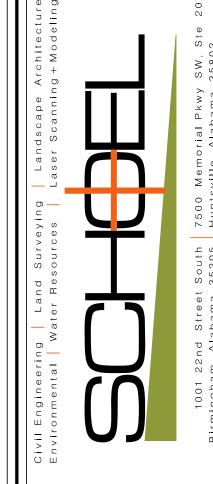














TYPICAL ROAD SECTIONS

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SECTIONS

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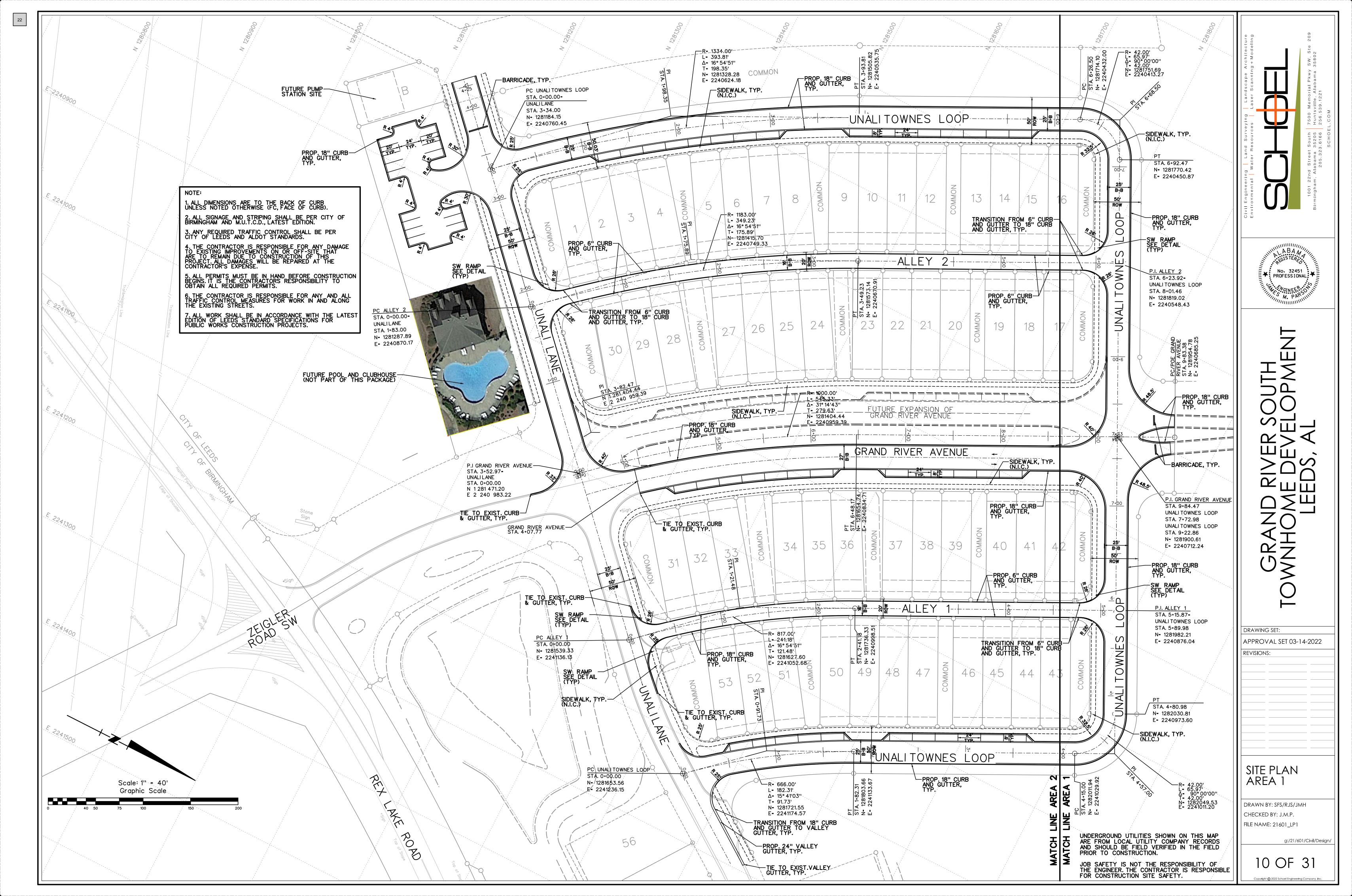
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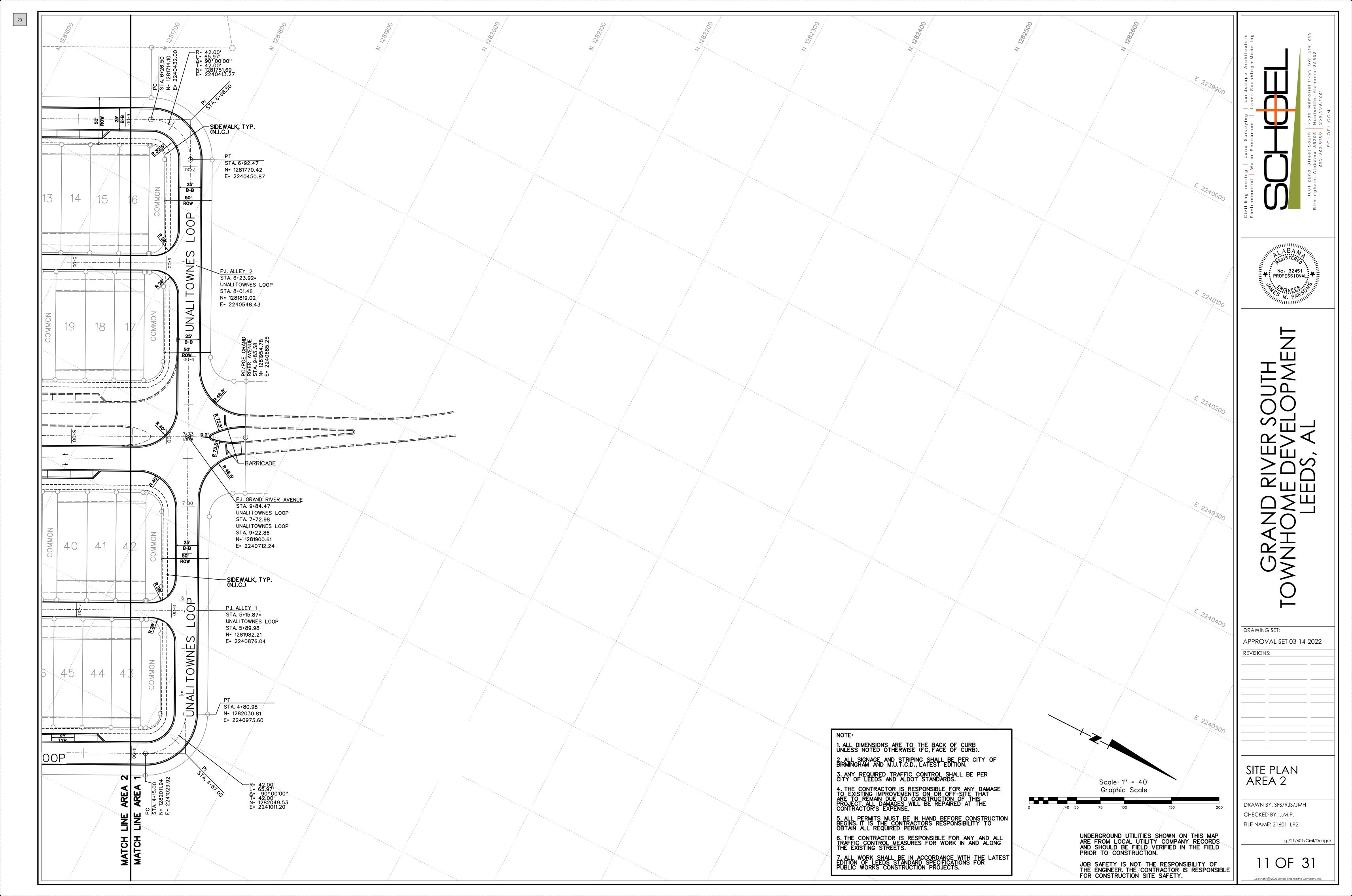
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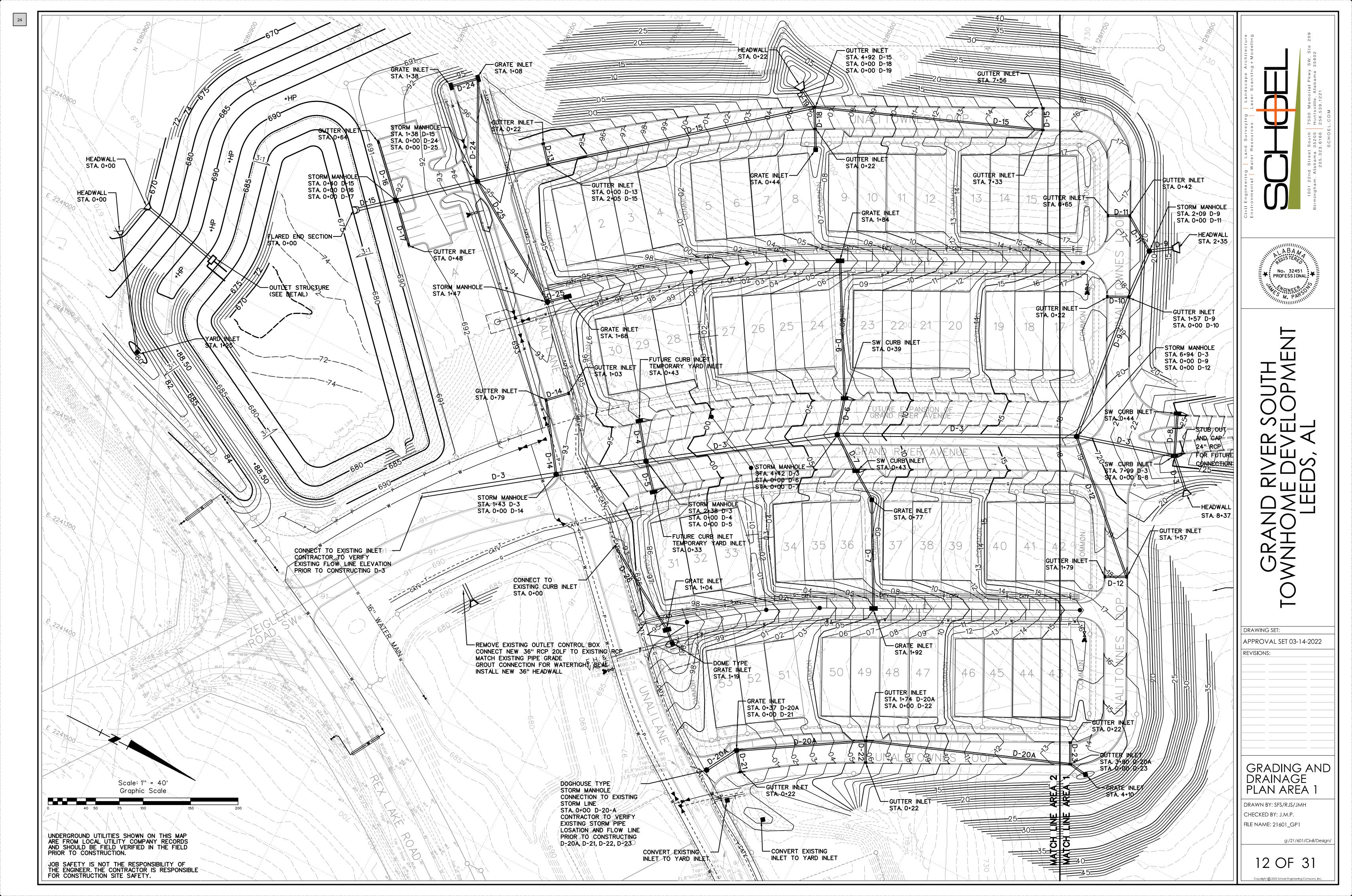
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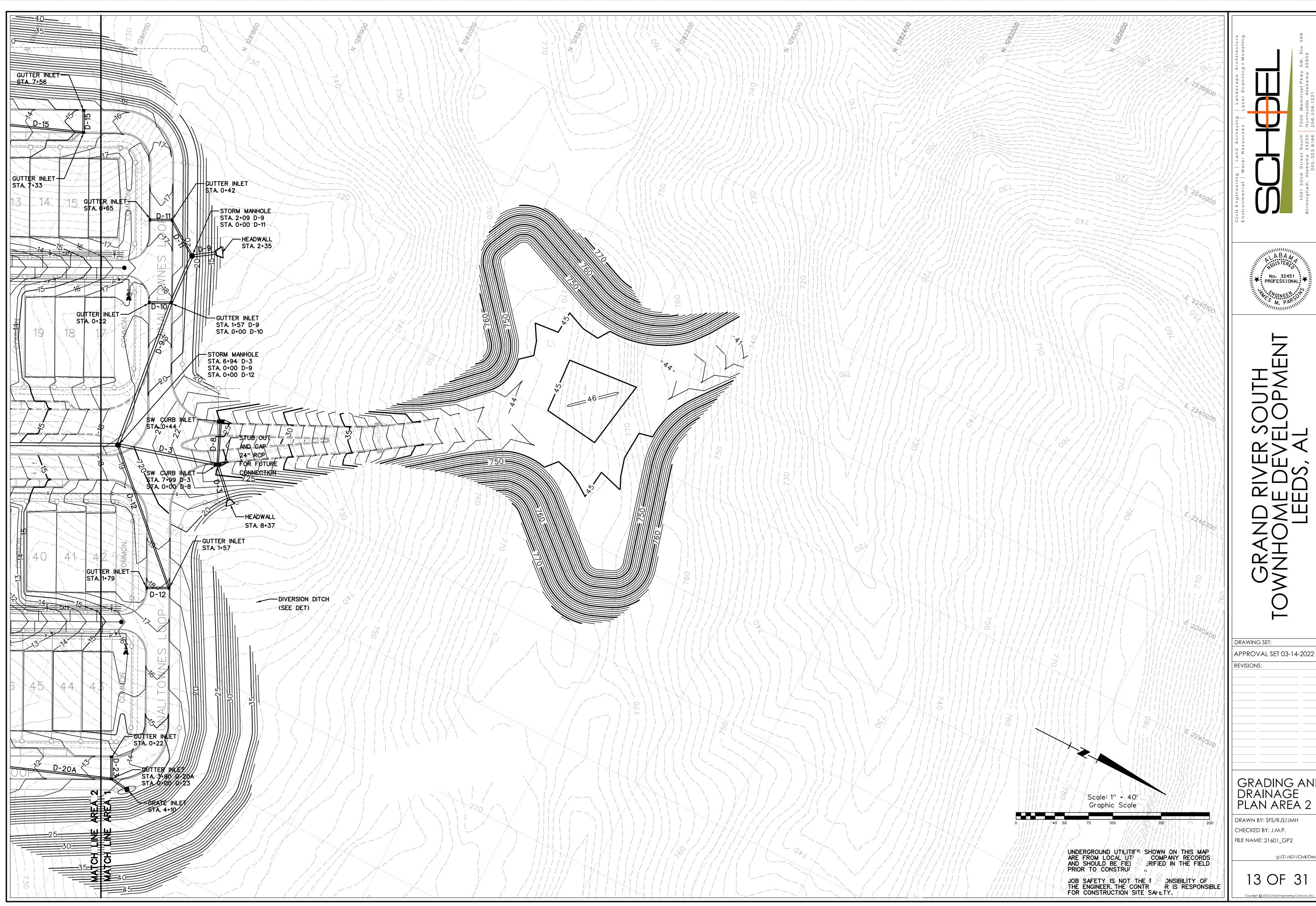
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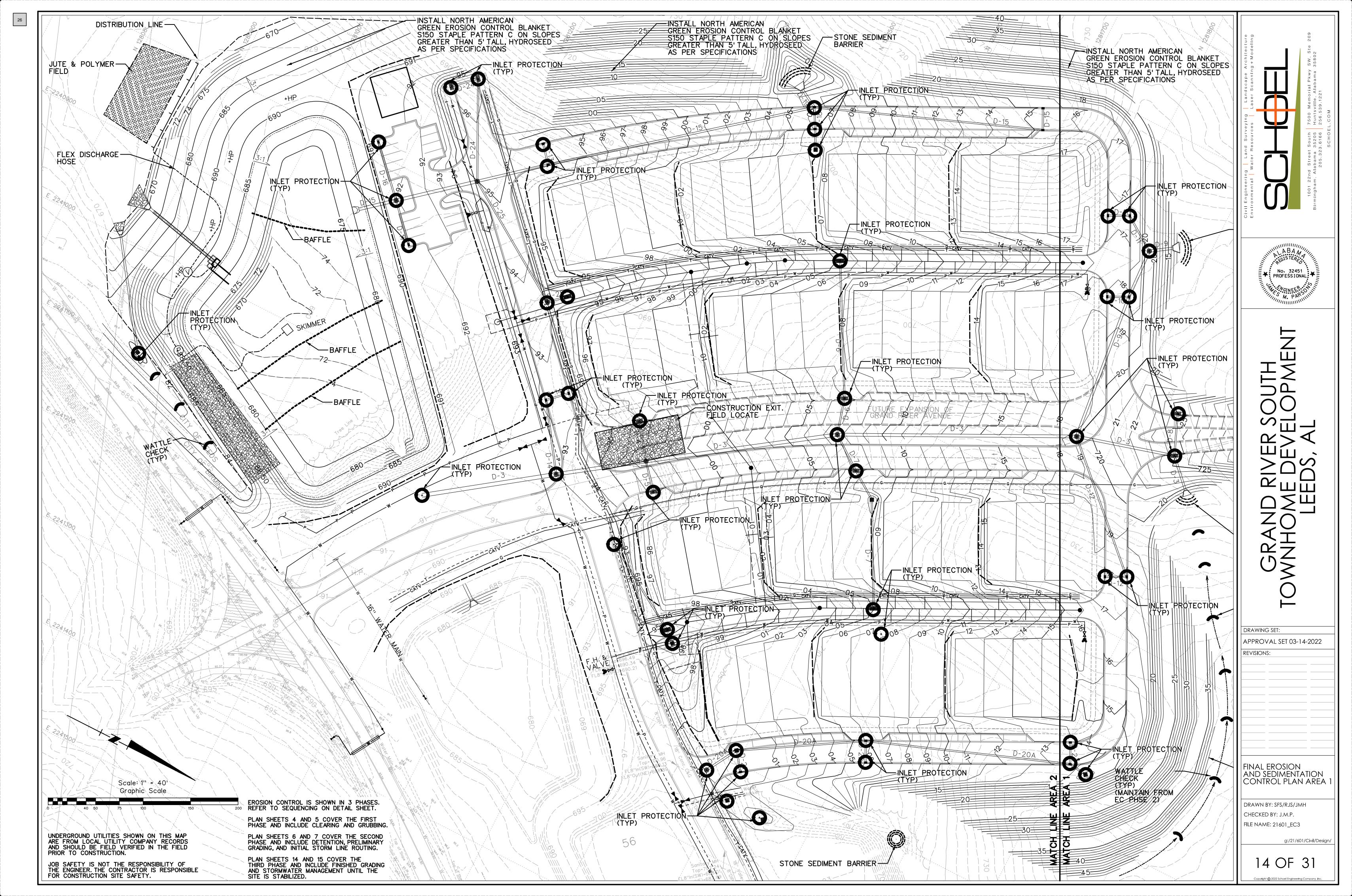


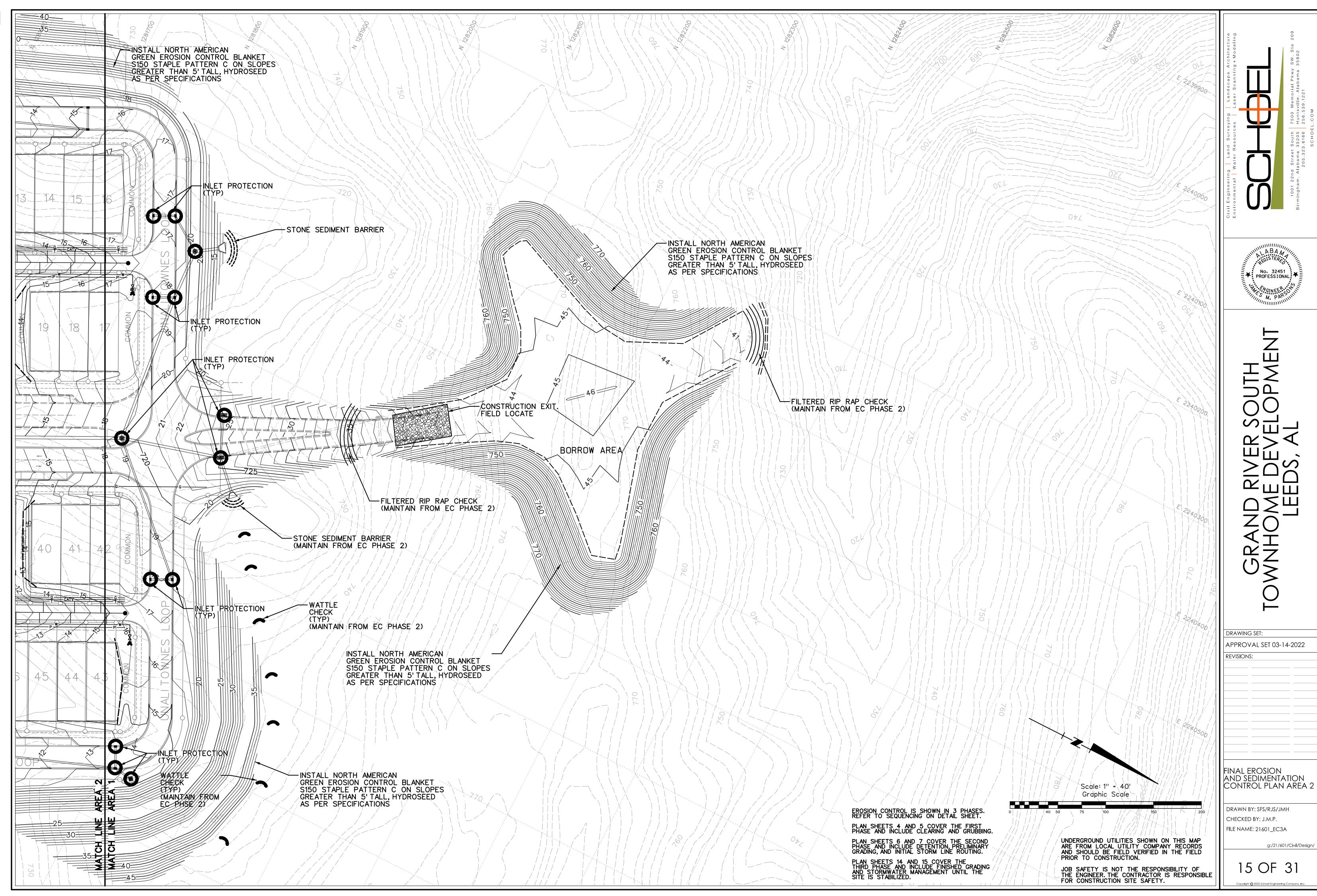


GRADING AND DRAINAGE PLAN AREA 2

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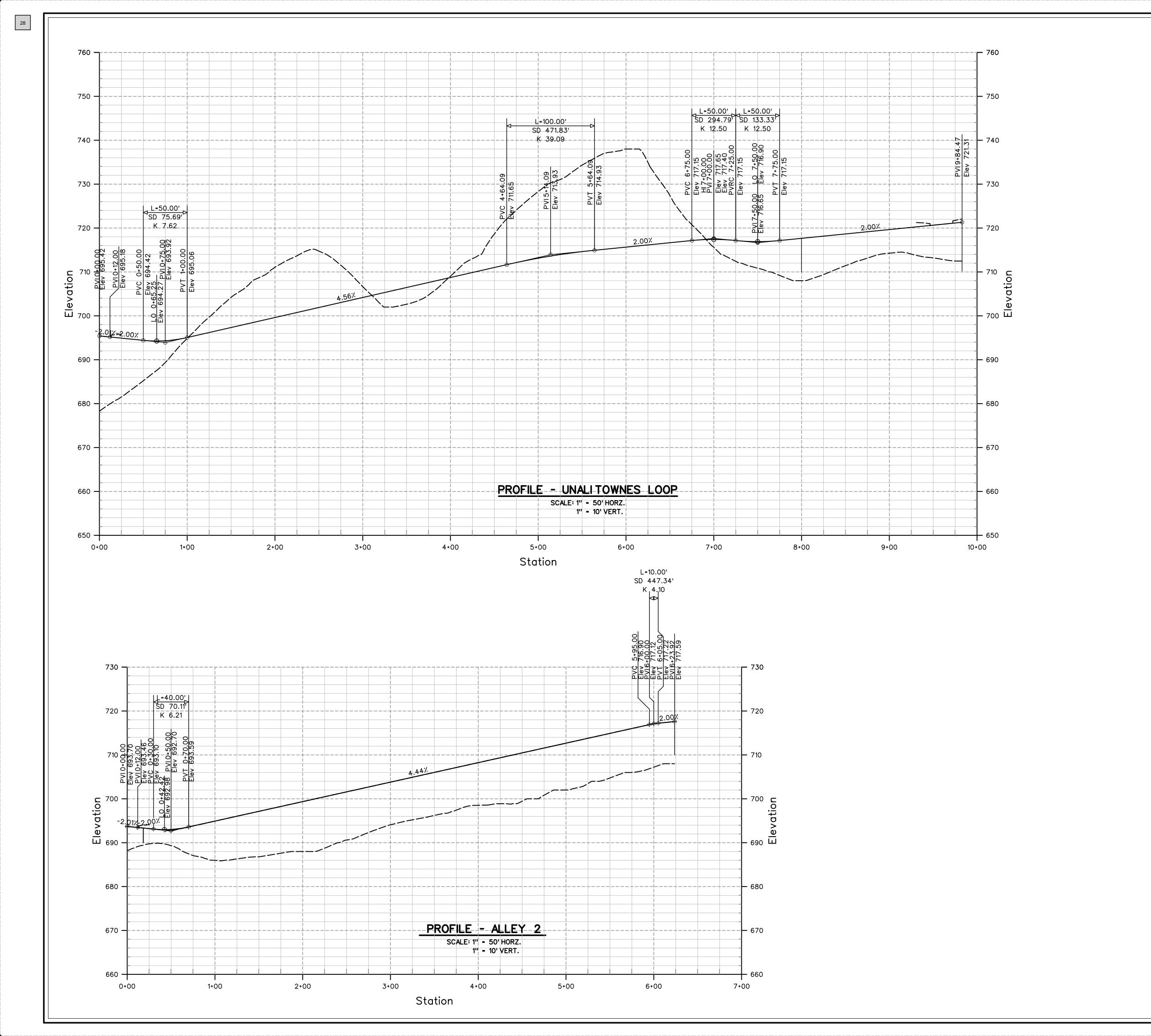




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GRAND RIVER SOUTH FOWNHOME DEVELOPMENT LEEDS, AL

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ROAD PROFILES

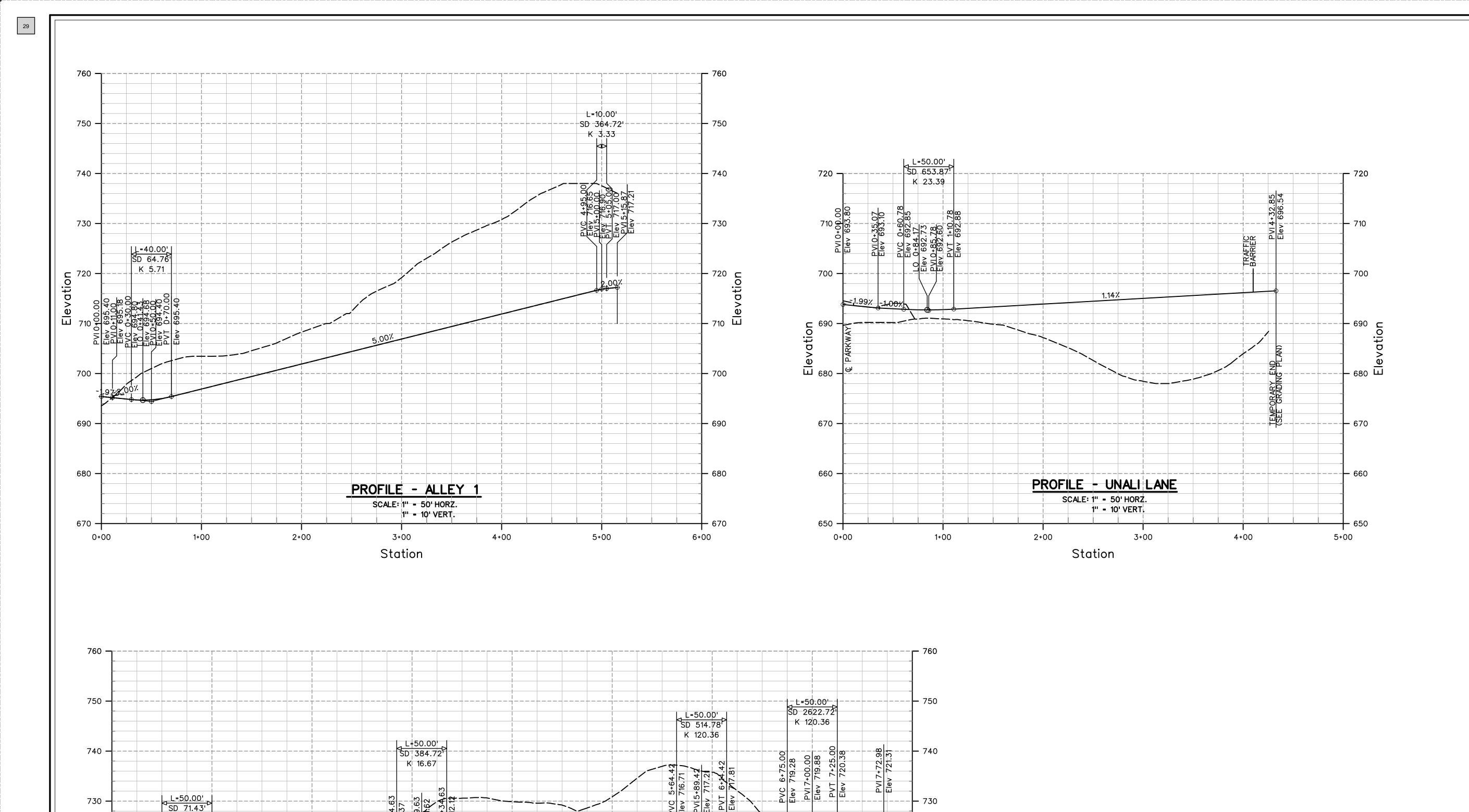
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PROP. GRADE

———— EXIST. GRADE

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PROFILE - UNALI TOWNES LOOP

SCALE: 1" - 50' HORZ.

2+00

3+00

0+00

1" - 10' VERT.

4+00

Station

5+00

6+00

7+00

8+00

DRAWING SET: APPROVAL SET 03-14-2022

REVISIONS:

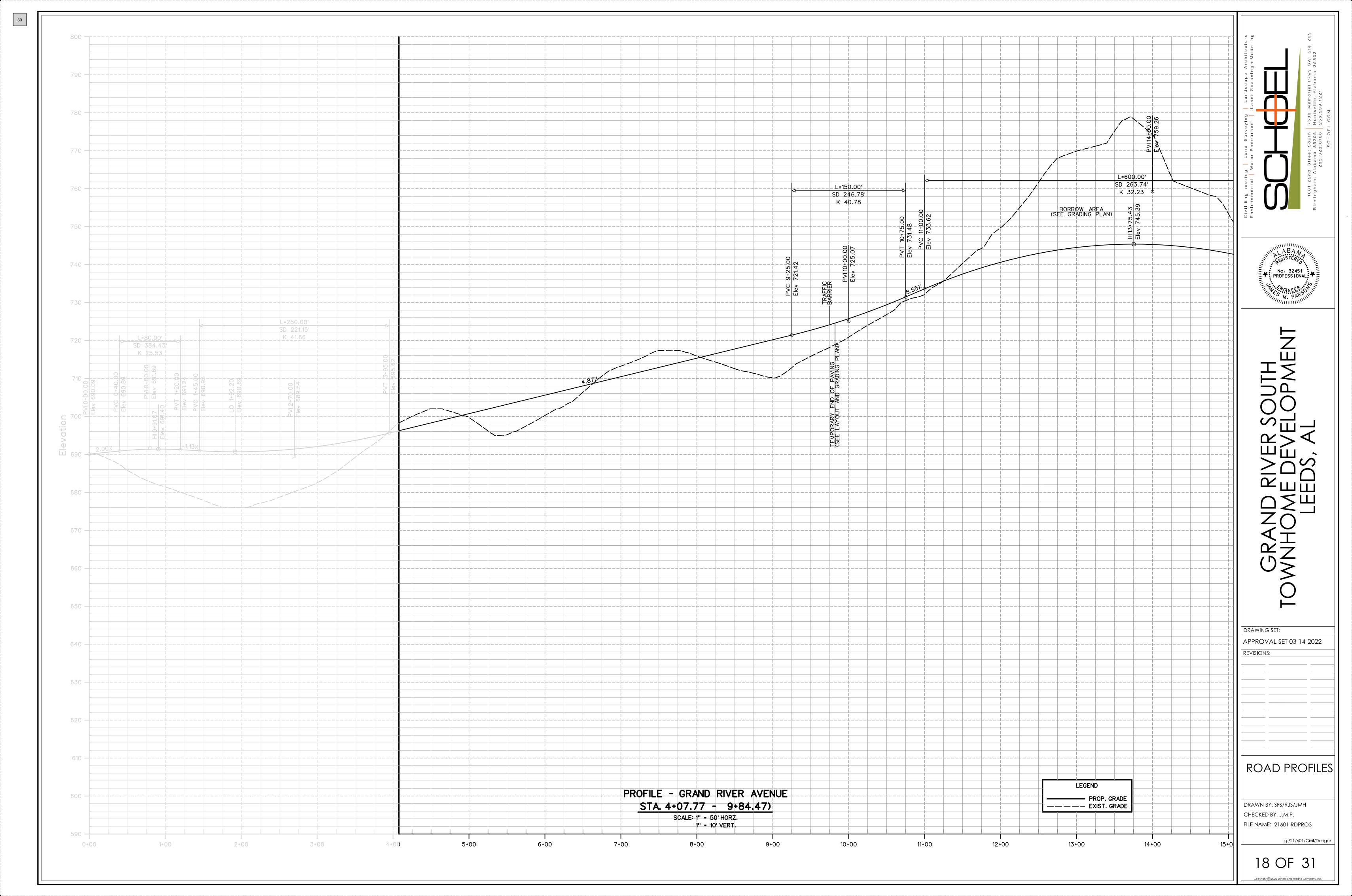
ROAD PROFILES

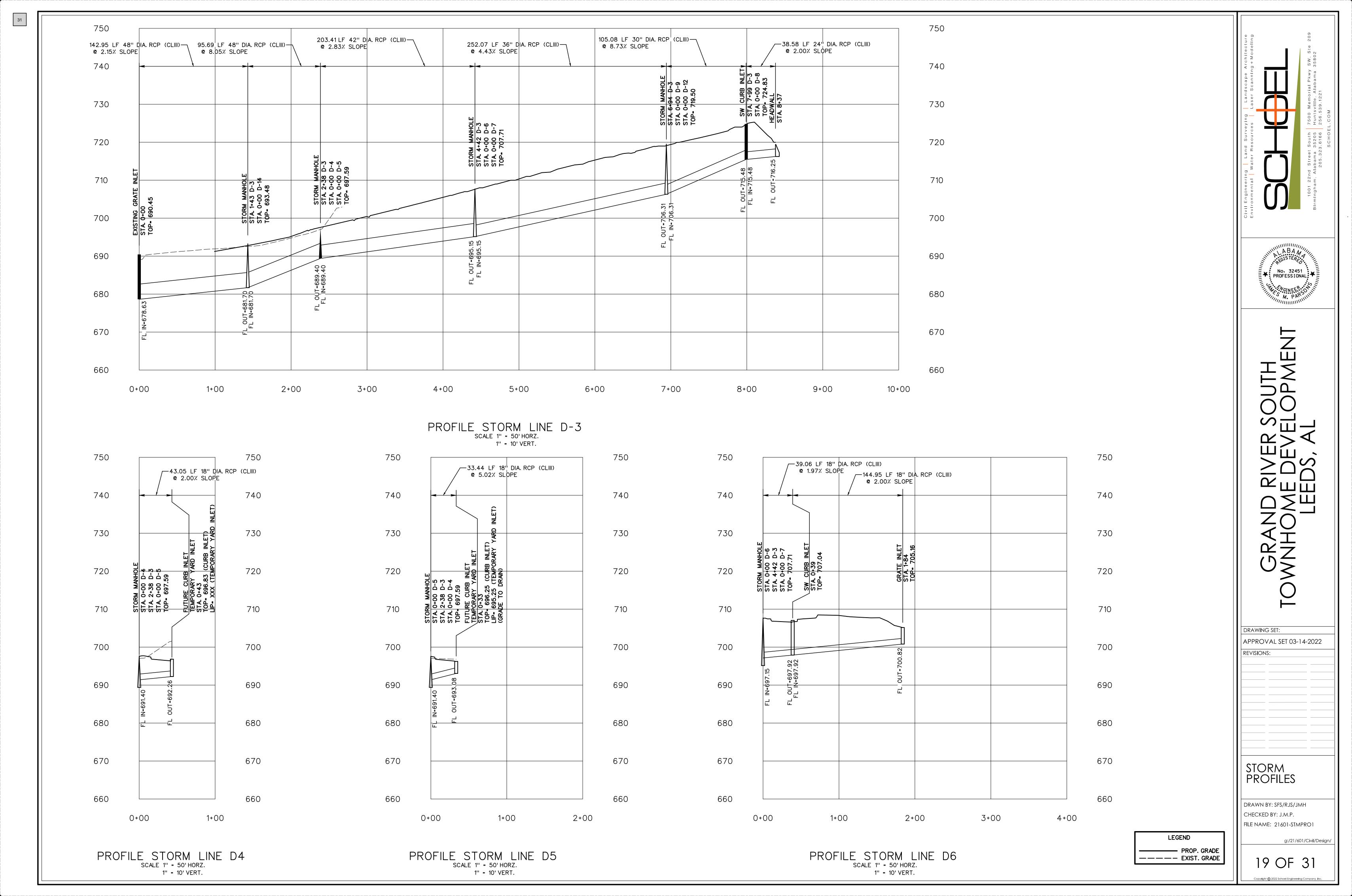
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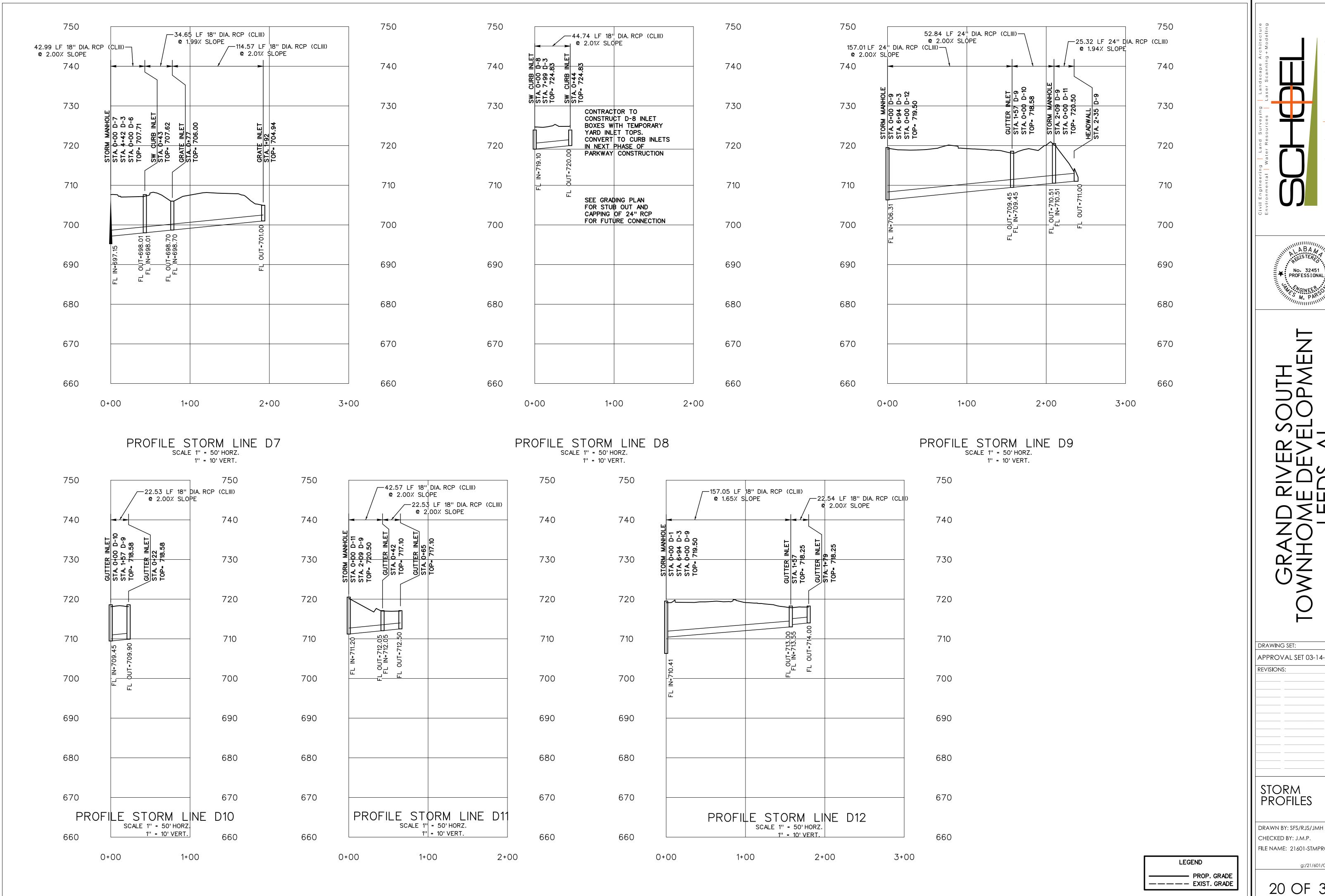
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PROP. GRADE

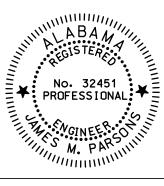
----- EXIST. GRADE







SW, St 35802



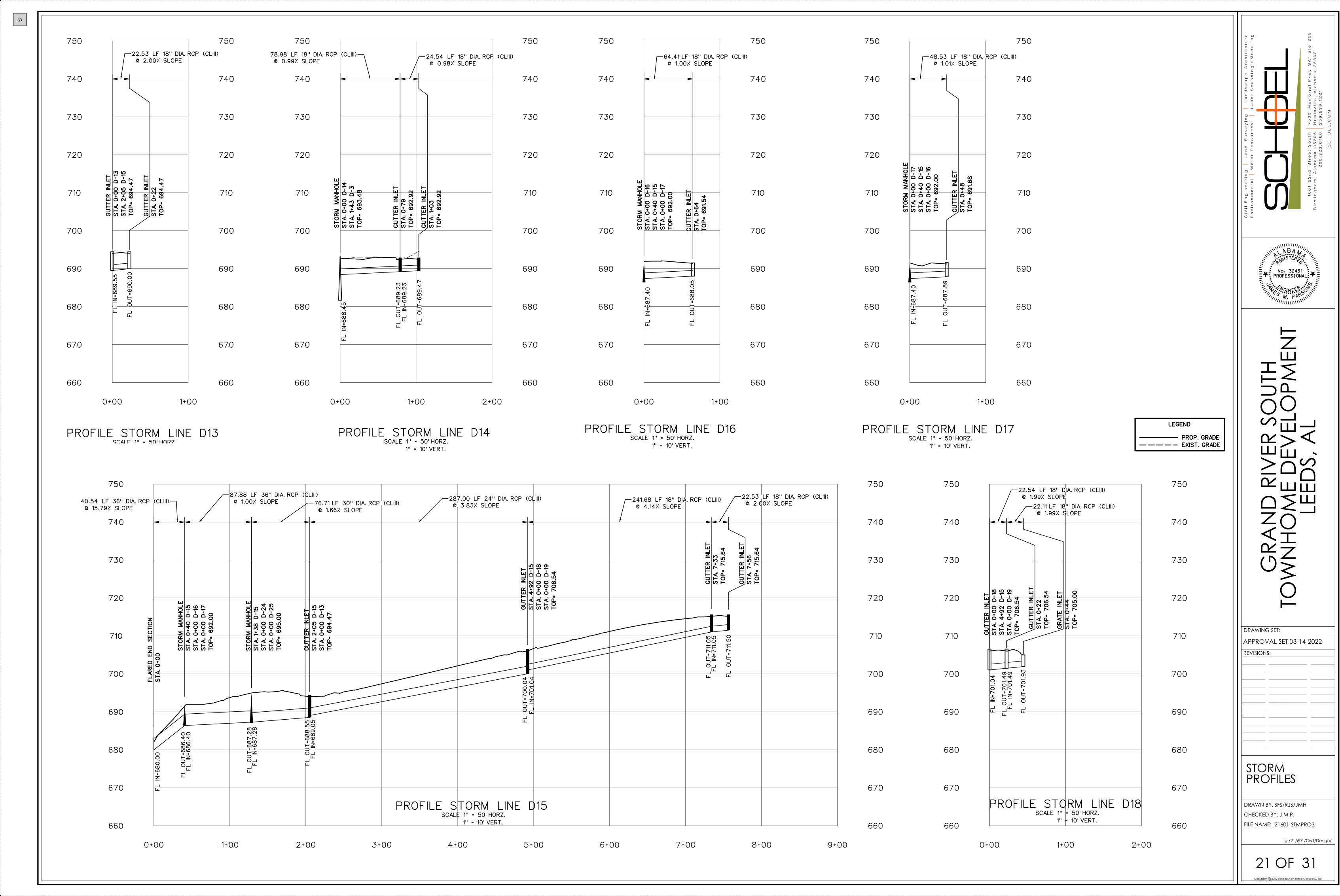
SOUTH GRAND RIV WNHOME I LEED

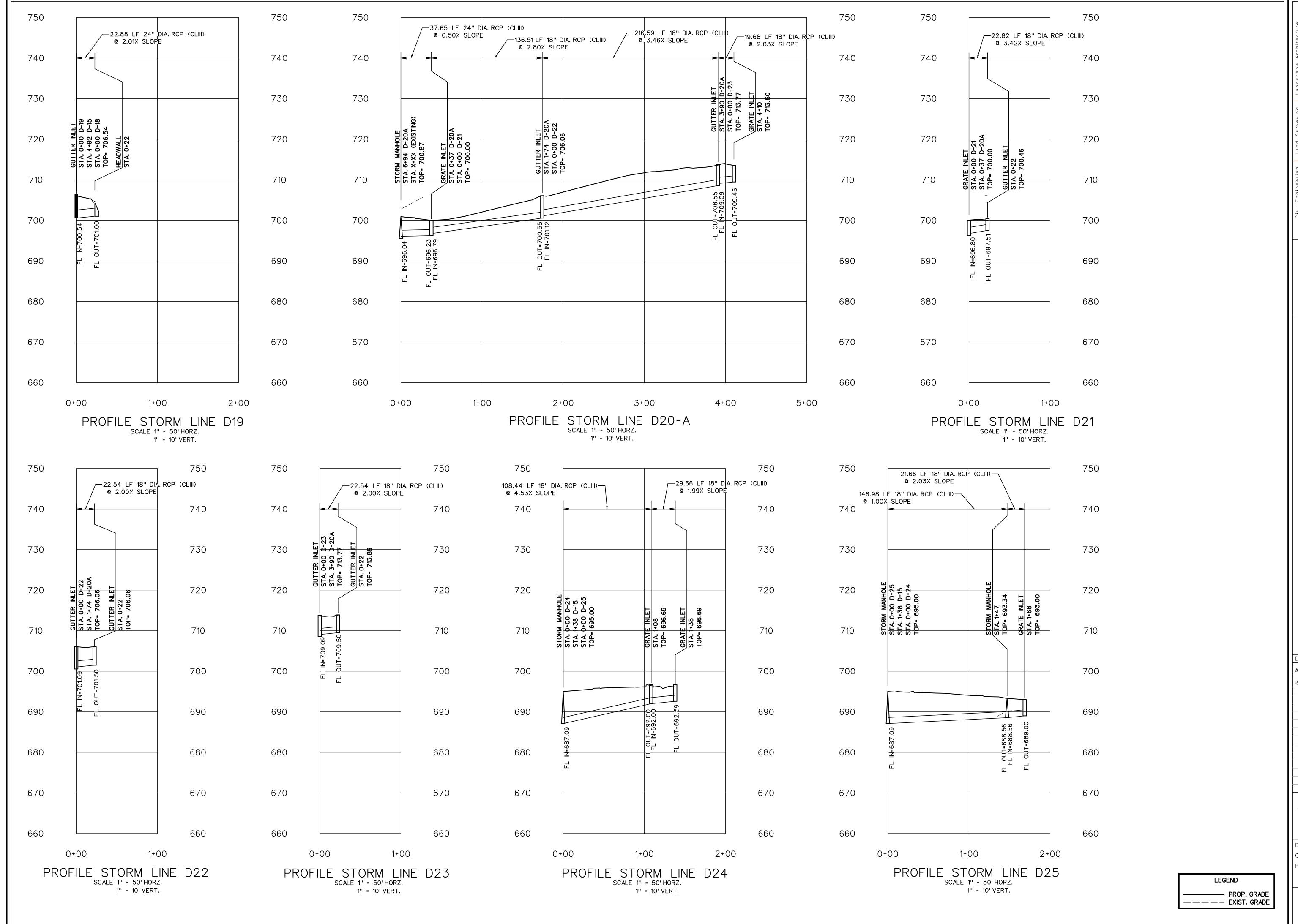
DRAWING SET: APPROVAL SET 03-14-2022 REVISIONS:

STORM PROFILES

CHECKED BY: J.M.P. FILE NAME: 21601-STMPRO2

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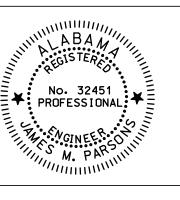




Civil Engineering | Land Surveying | Landscape Architecture
Environmental | Water Resources | Laser Scanning + Modeling

Laser Scanning + Modeling + Modeling

Laser Scanning + Modelin



GRAND RIVER SOUTH TOWNHOME DEVELOPMENT LEEDS, AL

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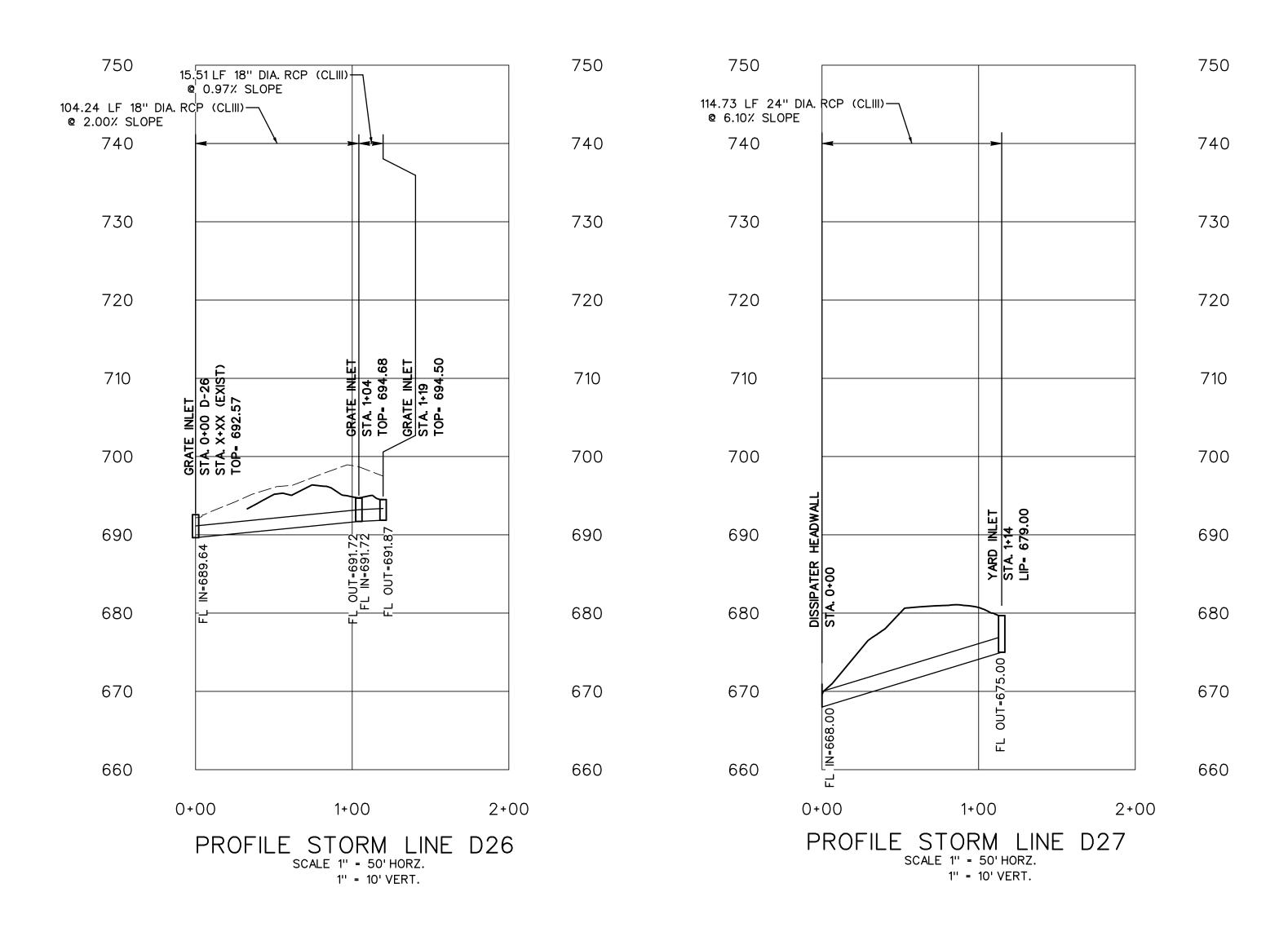
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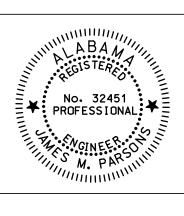
REVISIONS:

STORM PROFILES

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CHECKED BY: J.M.P.
FILE NAME: 21601-STMPRO4

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GRAND RIVER SWNHOME DEVE LEEDS, AI

| DRAWING SET: |
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| APPROVAL SET 03-14-202 |

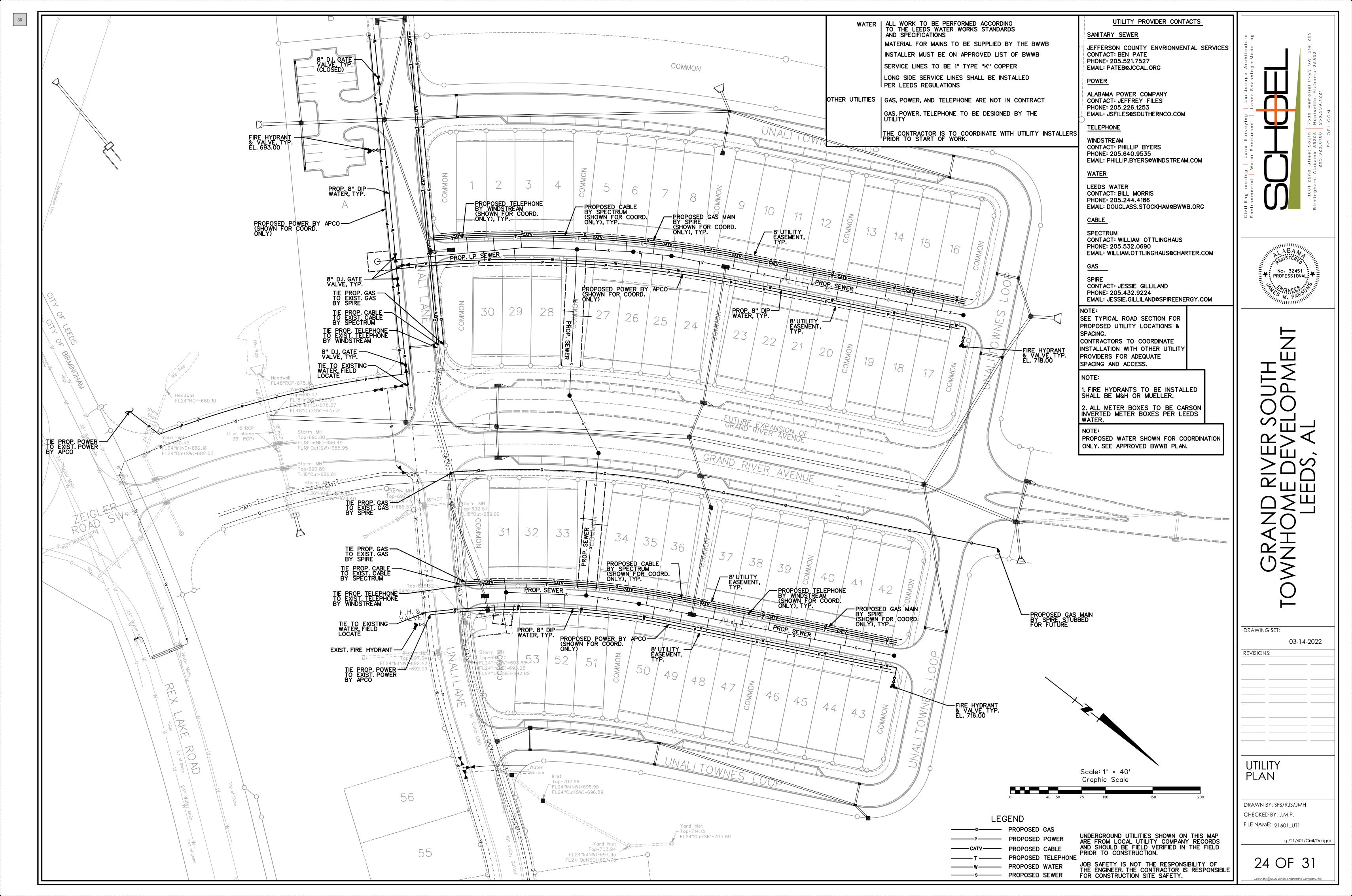
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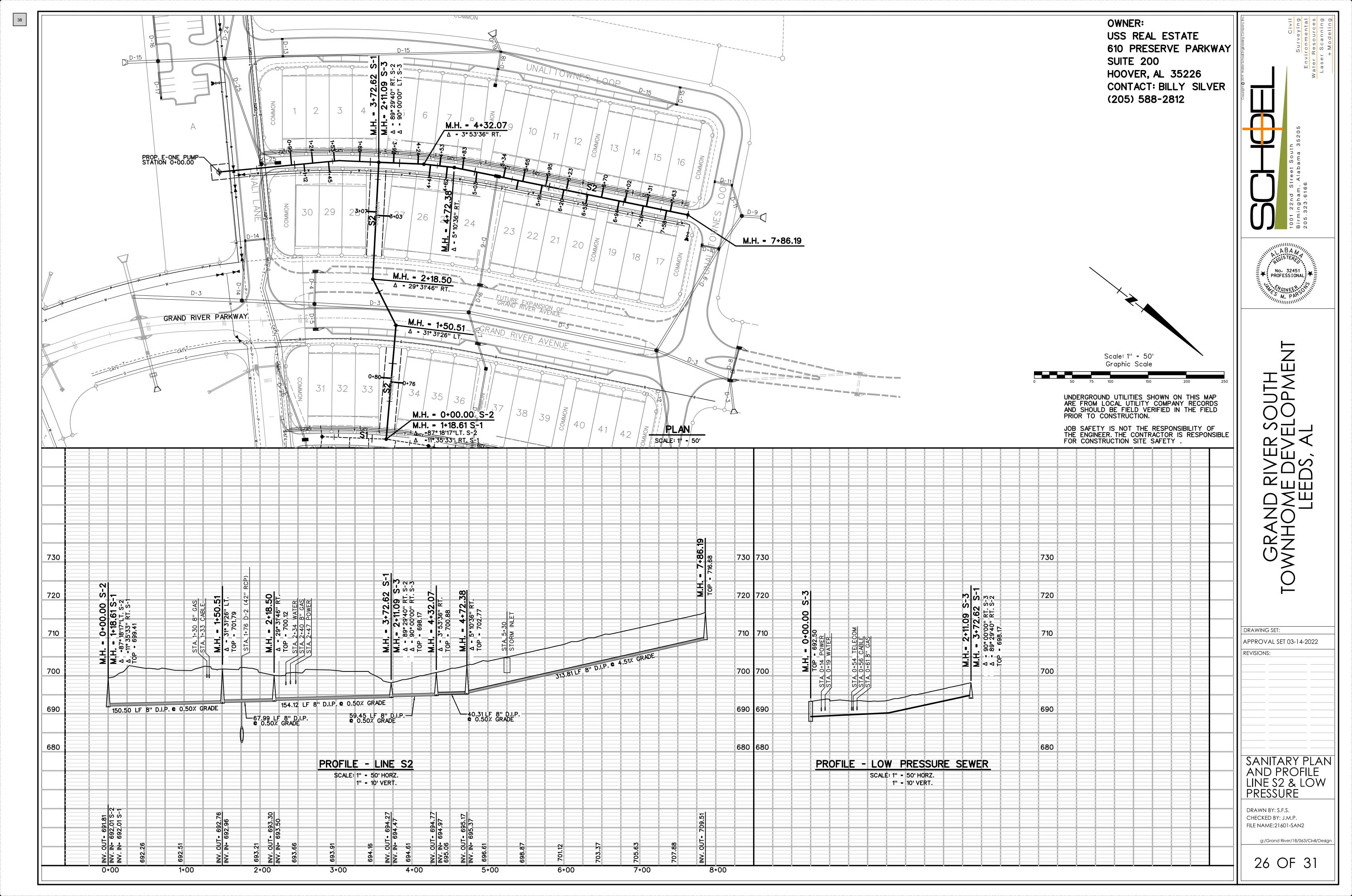
STORM PROFILES

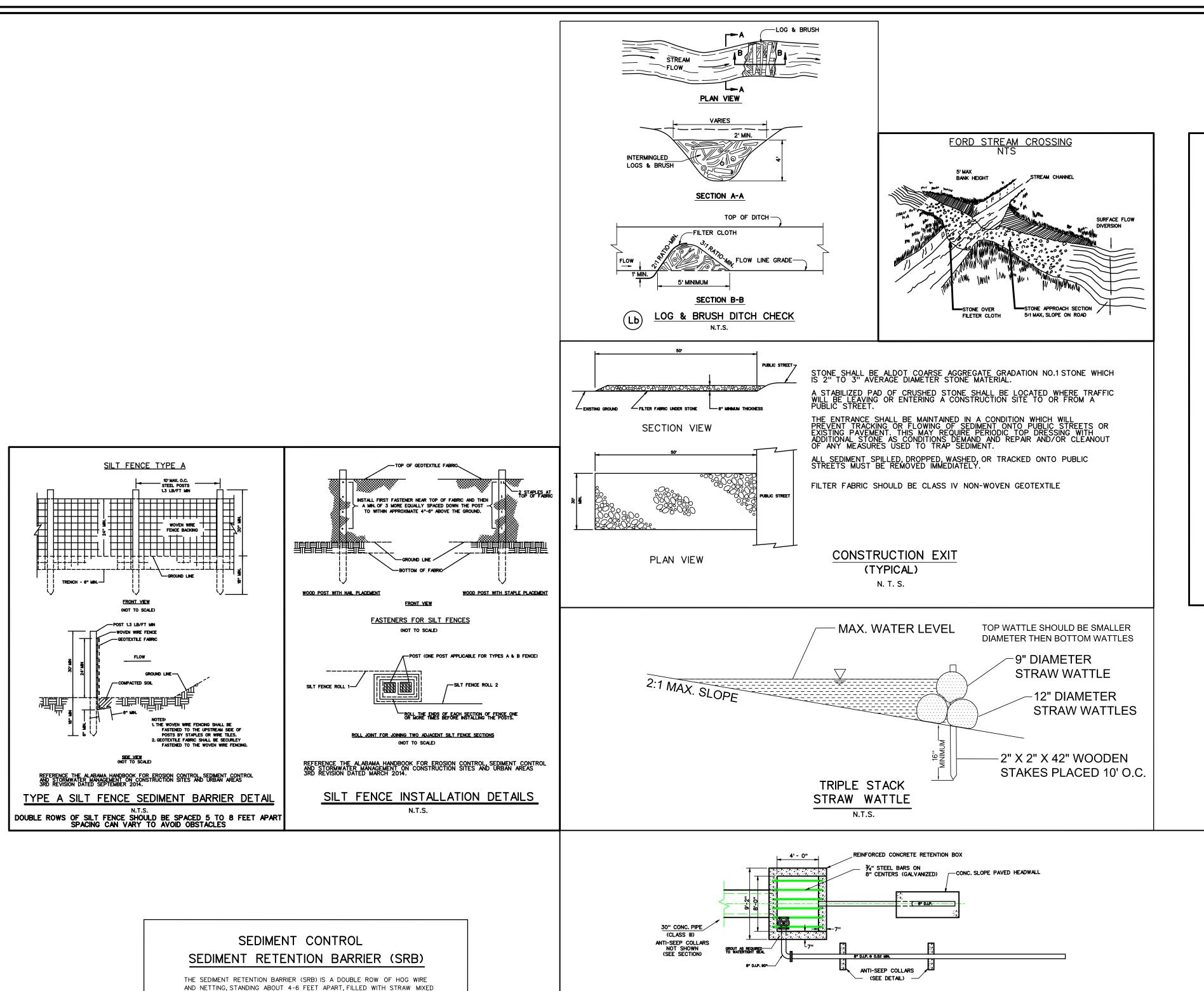
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PROP. GRADE
————— EXIST. GRADE

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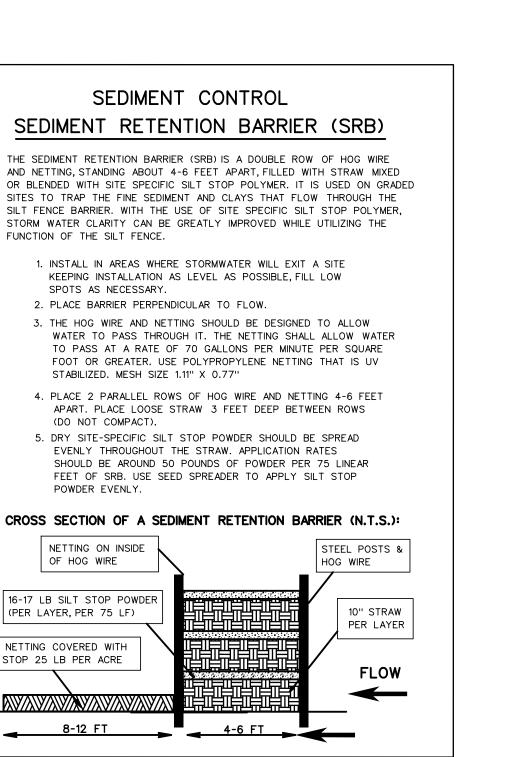


EROSION CONTROL NARRATIVE

- INSTALL ALL MEASURES SHOWN ON SHEETS 4 AND 5 PRIOR TO ANY CLEARING. LIMIT EQUIPMENT CROSSING OF DRAINAGE AREAS TO THOSE SPECIFIED ON THE
- CONSTRUCT LAKE, OUTLET STRUCTURE, THEN BLOCK LOWER LEVEL OUTLET UNTIL STEP 3 IS COMPLETE. CONTRACTOR TO PAY ATTENTION TO THE WEATHER FORECAST WHEN SCHEDULING THIS WORK, AS THE POND HAS LIMITED
- HOLDING CAPACITY.

 3) CONTRACTOR TO BRING GRADING UP ADJACENT TO POND, AS NEEDED, IN A MANNER TO MANAGE AND CONTROL RUNOFF.

 4) INSTALL JUTE AND POLYMER FIELD, THEN GRAVITY DISTRIBUTION AND DISCHARGE
- HOSES, THEN SKIMMER.
- BEGIN MASS GRADING OPERATION.
 OPERATE ACTIVE SYSTEM (DESCRIBED ABOVE) AS REQUIRED TO MANAGE TURBIDITY
 AND COMPLY WITH PERMIT REQUIREMENTS. ATTEMPT TO KEEP POOL ELEVATION FIVE
 FEET BELOW NORMAL POOL ELEVATION BY PROPERLY DISCHARGING STORM WATER IN
- ORDER TO PROVIDE STORM WATER STORAGE.
 AS SITE GRADES MOVE TOWARD FINAL SITE GRADES, INSTALL REMAINING DRAINAGE AND ASSOCIATED EROSION CONTROL MEASURES. ALL LOG AND BRUSH CHECKS MUST BE
- REMOVED COMPLETELY.
 STABILIZE ALL AREAS ACCORDING TO DIRECTIONS AS PER THE PLANS.
 MAINTAIN LOCAL EROSION CONTROL MEASURES AND ACTIVE SYSTEM UNTIL SITE IS
 STABLE AND STORMWATER DISCHARGES ARE WITHIN PERMIT LIMITS WITHOUT ACTIVE
- TREATMENT. AT THE END OF THE GRADING OPERATION, PUMP LAKE DOWN BY RELEASING DISCHARGE WITHIN PERMIT LIMITS USING ACTIVE SYSTEM AS REQUIRED. REMOVE AND DISPOSE OF ACCUMULATED SEDIMENTBACK TO ORIGINAL LAKE BOTTOM.
- CONTINUE TO EMPLOY THE LAKE SKIMMER AND ACTIVE SYSTEM, AS REQUIRED WHILE TURBIDITY IS IN EVIDENCE
- ONCE SITE IS ESTABLISHED, THE LAKE SKIMMER AND ACTIVE SYSTEM ARE TO BE REMOVED. ALL COMPONENTS OF THE ACTIVE SYSTEM AND DISPOSAL AREA ARE TO BE
- REMOVED. ALL DISTURBED AREAS ARE TO BE RE-VEGETATED. TOPSOIL RE-PLATING AND VEGETATION SHALL BE INSTALLED AS GRADING IS COMPLETED.



FUNCTION OF THE SILT FENCE.

SPOTS AS NECESSARY.

(DO NOT COMPACT).

POWDER EVENLY.

NETTING ON INSIDE

OF HOG WIRE

16-17 LB SILT STOP POWDER

(PER LAYER, PER 75 LF)

JUTE NETTING COVERED WITH

SILT STOP 25 LB PER ACRE

2. PLACE BARRIER PERPENDICULAR TO FLOW.

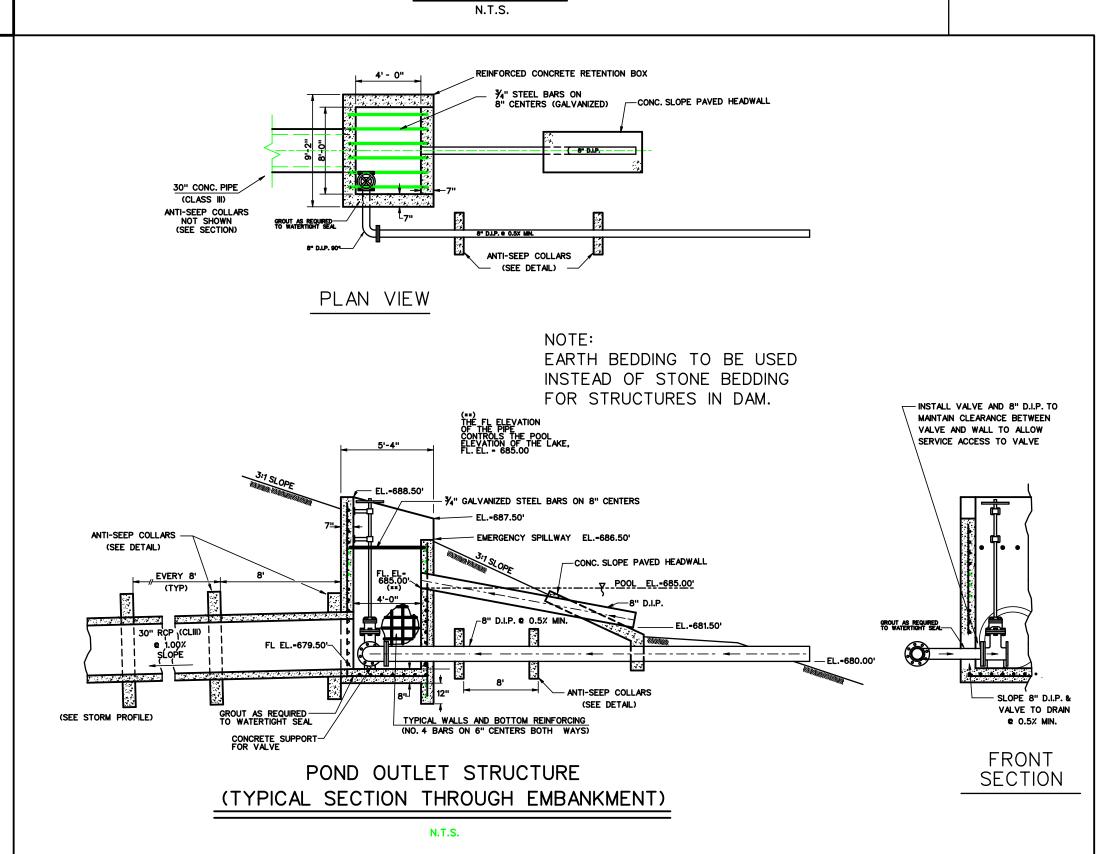
STABILIZED. MESH SIZE 1.11" X 0.77"

1. INSTALL IN AREAS WHERE STORMWATER WILL EXIT A SITE

KEEPING INSTALLATION AS LEVEL AS POSSIBLE, FILL LOW

EVENLY THROUGHOUT THE STRAW. APPLICATION RATES

4-6 FT





A BAM

No. 32451

PROFESSIONAL 1

CLEARING AND GRUBBING DETAILS

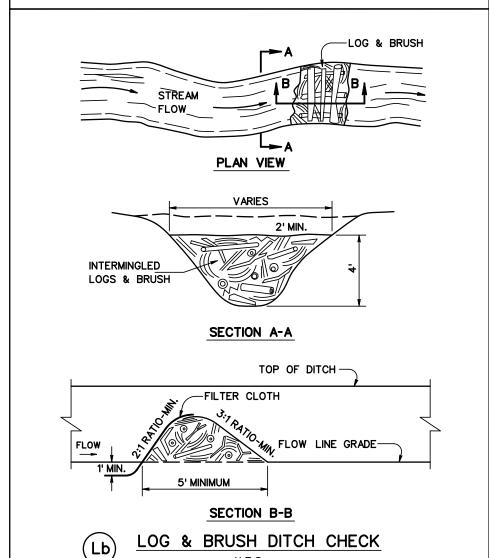
DRAWING SET:

REVISIONS:

APPROVAL SET 03-14-2022

DRAWN BY: SFS/RJS/JMH CHECKED BY: J.M.P. FILE NAME: 21601-DET1

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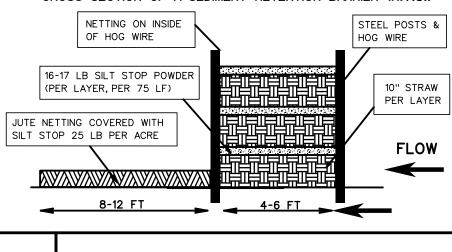


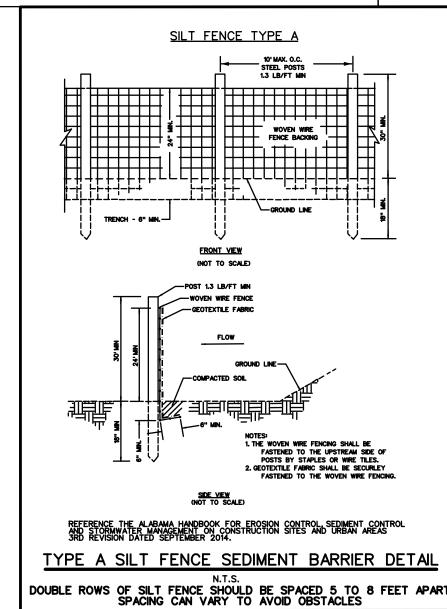
SEDIMENT CONTROL SEDIMENT RETENTION BARRIER (SRB)

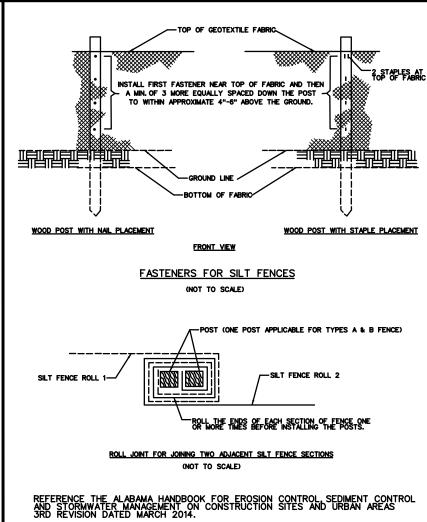
THE SEDIMENT RETENTION BARRIER (SRB) IS A DOUBLE ROW OF HOG WIRE AND NETTING. STANDING ABOUT 4-6 FEET APART, FILLED WITH STRAW MIXED OR BLENDED WITH SITE SPECIFIC SILT STOP POLYMER. IT IS USED ON GRADED SITES TO TRAP THE FINE SEDIMENT AND CLAYS THAT FLOW THROUGH THE SILT FENCE BARRIER. WITH THE USE OF SITE SPECIFIC SILT STOP POLYMER, STORM WATER CLARITY CAN BE GREATLY IMPROVED WHILE UTILIZING THE FUNCTION OF THE SILT FENCE.

- 1. INSTALL IN AREAS WHERE STORMWATER WILL EXIT A SITE KEEPING INSTALLATION AS LEVEL AS POSSIBLE, FILL LOW SPOTS AS NECESSARY.
- 2. PLACE BARRIER PERPENDICULAR TO FLOW. 3. THE HOG WIRE AND NETTING SHOULD BE DESIGNED TO ALLOW WATER TO PASS THROUGH IT. THE NETTING SHALL ALLOW WATER TO PASS AT A RATE OF 70 GALLONS PER MINUTE PER SQUARE FOOT OR GREATER. USE POLYPROPYLENE NETTING THAT IS UV STABILIZED. MESH SIZE 1.11" X 0.77"
- 4. PLACE 2 PARALLEL ROWS OF HOG WIRE AND NETTING 4-6 FEET APART. PLACE LOOSE STRAW 3 FEET DEEP BETWEEN ROWS
- (DO NOT COMPACT). 5. DRY SITE-SPECIFIC SILT STOP POWDER SHOULD BE SPREAD EVENLY THROUGHOUT THE STRAW. APPLICATION RATES SHOULD BE AROUND 50 POUNDS OF POWDER PER 75 LINEAR

FEET OF SRB. USE SEED SPREADER TO APPLY SILT STOP POWDER EVENLY. CROSS SECTION OF A SEDIMENT RETENTION BARRIER (N.T.S.): NETTING ON INSIDE OF HOG WIRE HOG WIRE 16-17 LB SILT STOP POWDER 10" STRAW (PER LAYER, PER 75 LF) PER LAYER



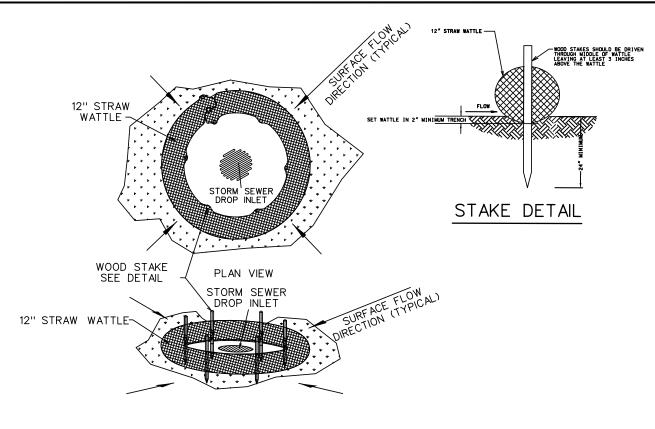




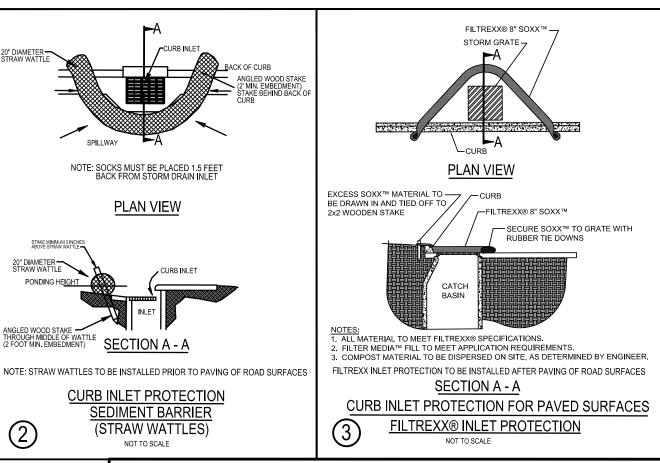
SILT FENCE INSTALLATION DETAILS

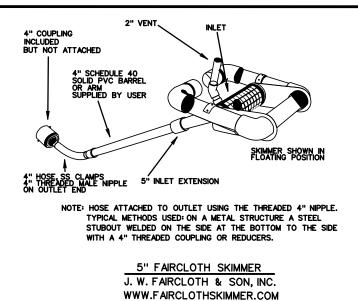
NOTE: INLET PROTECTION PHASES

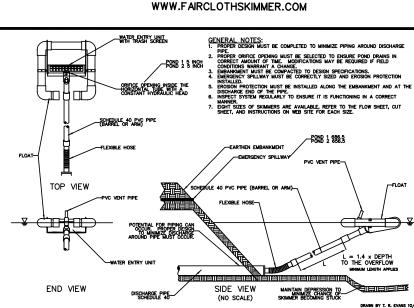
1. USE STRAW WATTLE INLET PROTECTION DETAIL FOR INITIAL INLET STRUCTURE INSTALLATION 2. USE STRAW WATTLE CURB INLET PROTECTION DETAIL FOR INITIAL CURB & GUTTER INSTALLATION 3. USE FILTREXX INLET PROTECTION DETAIL AFTER PAVING SURFACE IS APPLIED

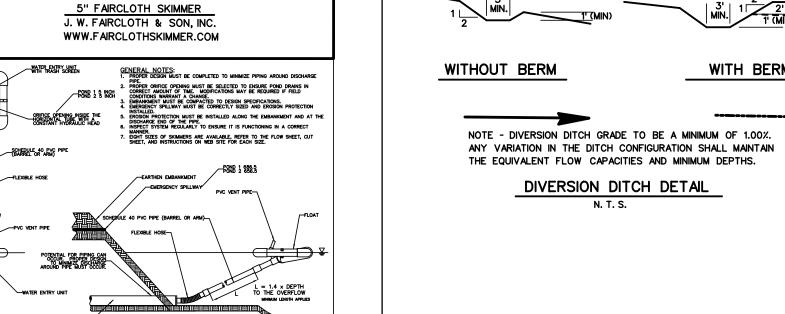


STRAW WATTLE INLET PROTECTION N.T.S.







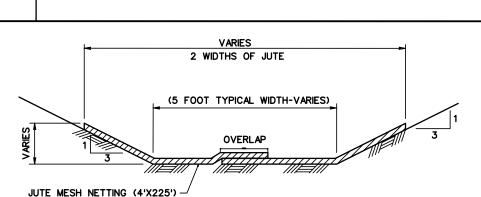


FILTER HAT IS AVAILABLE IN THREE OPTIONS:
1) ALL HIGH-EVOW MATERIAL
2) ALL HIGH-EFFICIENCY MATERIAL
3) HIGH-EFFLOW MATERIAL
3) HIGH-EFLOW MATERIAL
5) HIGH-EFLOW MATERIAL
6) NO DOTTOM HALF (THIS FILTER COVER IS RECOMMENDE
FOR ALL ROADWAY PROJECTS.)
IT IS THE PURCHASEER RESPONSIBILITY TO PURCHASE APPROPRIA
FILTER HAT. PURCHASER SHALL PROVIDE ROCK FOR FILTER POCK

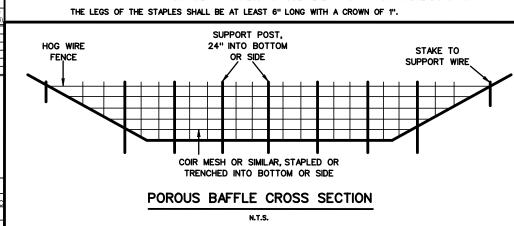
FILTER HAT INSTALLATION
FILTER HAT SLIDES DIRECTLY OVER FILTER FRAME. TO KEEP FILTE

MAINTENANCE
ALL TEMPORARY EROSION, SEDIMENTATION, & POLLUTION CONTR

SPECIFICATIONS
FILTER FABRIC SILT-SAVER HAT SHALL BE BASED ON DESIGN PROFESSIONAL'S SPECIFICATIONS.



JUTE MESH NETTING INSTALLATION INSTRUCTIONS JUTE NETTING SHALL BE ROLLED OUT FLAT, PARALLEL TO THE DIRECTION OF FLOW. WHEN 2 OR MORE ROLLS ARE REQUIRED TO COVER AN AREA, THEY SHALL OVERLAP AT LEAST 1'. THE UPSLOPE END (ANCHOR SLOT) OF EACH ROLL SHALL BE BURIED IN $6^{\prime\prime}$ VERTICAL SLOTS.



JUTE MESH NETTING (4'X225') -

INSTALL CLASS I GEOTEXTILE BETWEEN SUBGRADE AND GRADED STONE

(RR) RIP RAP STORM OUTLET PROTECTION (TYPICAL)

PLACE STAKES ON END OF EACH WATTLE ADJACENT ROLLS SHOULD BE TIGHTLY ABUT

SET WATTLE IN 2" MINIMUM TRENCH

N. T. S.

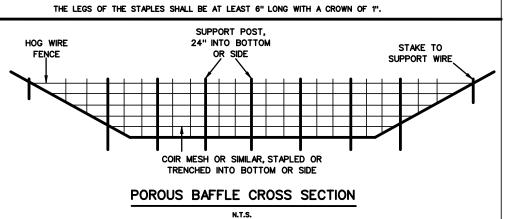
TXXXX

STRAW WATTLE

STRAW WATTLE SEDIMENT BARRIER

WITH BERM

THE NETTING SHALL BE SPREAD EVENLY AND SHALL BE IN CONTACT WITH THE SOIL AT ALL POINTS. NETTING SHOULD NOT BE STRETCHED TIGHT SO THAT THE MATERIAL "TENTS" OVER THE SOIL SURFACE. STAPLES FOR THE NETTING SHOULD BE U-SHAPED WIRE WITH AN 11 GAUGE THICKNESS OR GREATER. STAPLES SHOULD BE OF SUFFICIENT THICKNESS FOR SOIL PENETRATION WITHOUT UNDUE DISTORTION.



TEMPORARY SWALE DETAIL

EROSION AND SEDIMENTATION CONTROL DETAILS DRAWN BY: SFS/RJS/JMH CHECKED BY: J.M.P. FILE NAME: 21601-DET2

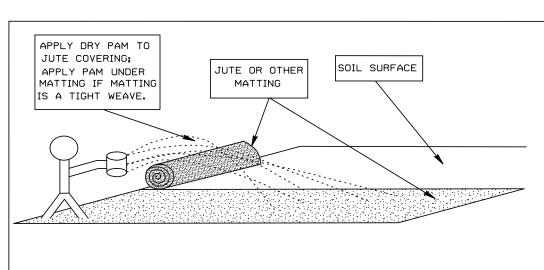
INTERMEDIATE

DRAWING SET:

REVISIONS:

APPROVAL SET 03-14-2022

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1) FOR USE ON ALL SLOPE CONDITIONS

3) DRY PAM SHALL BE APPLIED TO THE SOIL IF TIGHT WEAVE MATTING IS USED AND ALSO TO THE JUTE OR BURLAP MATTING COVER USING A SEED OR FERTILIZER SPREADER. 4) APPLICATION RATE SHALL BE 10 POUNDS/ACRE BUT NO GREATER THAN 25

5) REAPPLY DRY PAM AFTER 5 TO 7 RAIN EVENTS

(ALL PAM SHALL BE SITE SPECIFIC, SOIL TESTING ACHIEVING 95% NTU REDUCTION OR AND MUST HAVE ACUTE AND CHRONIC TOXICITY TESTING REPORTS.)

* AT LESS THAN 1% SLOPE EXTEND TO EDGE OF DISTURBANCE-CONSTRUCTION SPECIFICATIONS: THE TOP OF THE EARTH DIKE OVER THE INLET PIPE AND THOSE DIKES CARRYING WATER TO THE PIPE SHALL BE AT LEAST 1.5 FEET HIGHER AT ALL POINTS THAN THE TOP OF THE INLET PIPE.

TIE DOWN AT END-

2. THE PIPE SHALL BE FLEXIBLE WITH WATER TIGHT CONNECTING BANDS. FLEXIBLE PIPE SHOULD BE STAKED ON EITHER SIDE. 5. FOLLOW-UP INSPECTION AND ANY NEEDED MAINTENANCE SHALL BE PERFORMED AFTER EACH STORM BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT. A RIP RAP APRON SHALL BE PROVIDED AT THE OUTLET, IF EMPTYING INTO A DISTURBED AREA.

6. OUTLET PIPE SHOULD BE TAKEN OVER OR THROUGH ANY SILT FENCE, TAKING CARE NOT TO VOID THE EFFECTIVENESS OF THE SILT FENCE.

12" FLEXIBLE DOWNDRAIN

(DRY POWDER FORM SOFT ARMORING TECHNIQUE FOR MATTING)

2) ONE LAYER OF JUTE OR OTHER MATTING SHALL BE APPLIED TO THE SURFACE OF ALL EXPOSED SOIL SLOPES.

POUNDS PER ACRE

FAIRCLOTH SKIMMER DISCHARGE SYSTEM WITH EMBANKMENT

ISOMETRIC VIEW

PLAN VIEW

ELEVATION VIEW

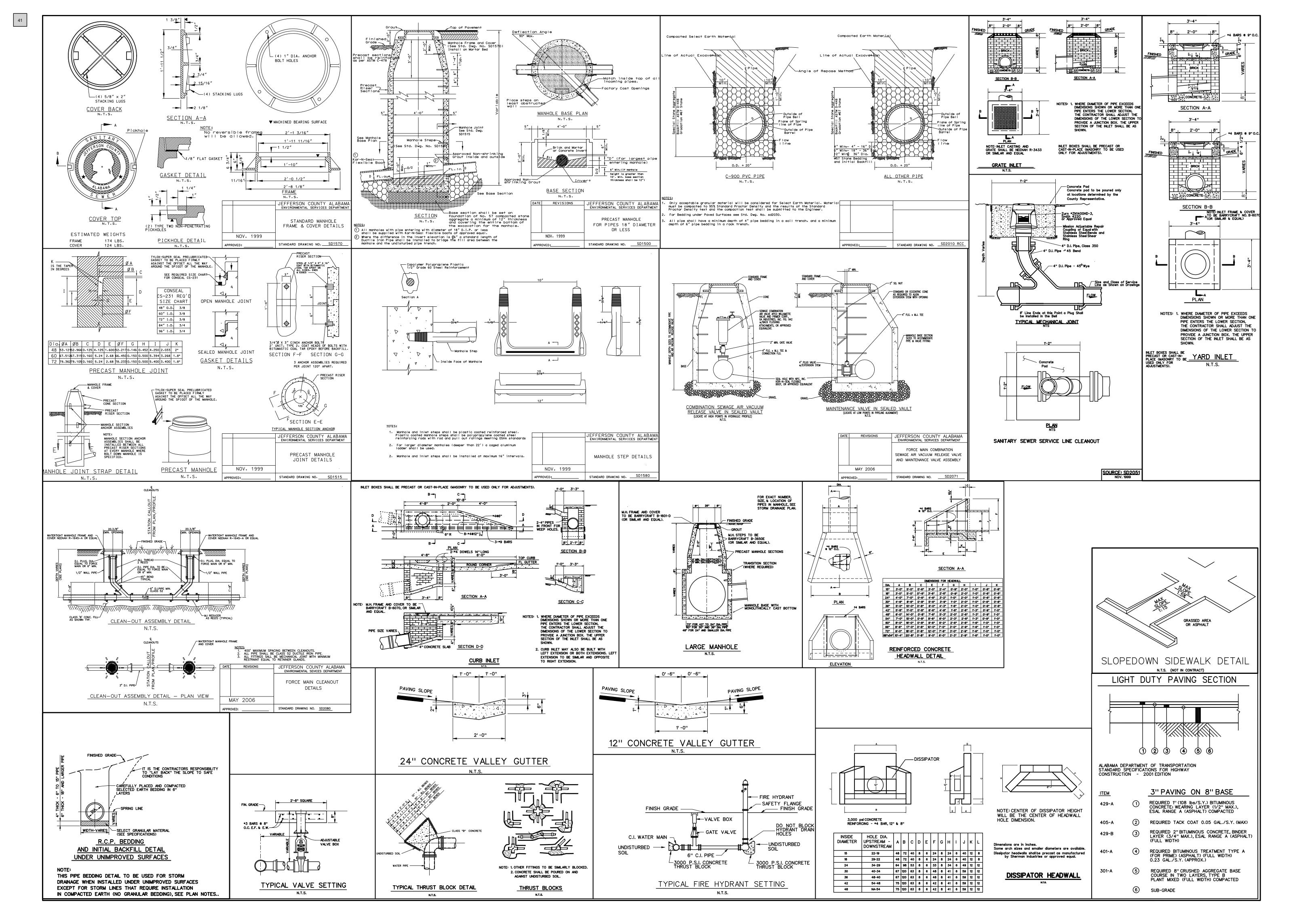
SQUARE FRAME & FILTER ASSEMBLY | FILTER FABRIC MATERIAL: REFER TO SPE SCALE: NOT TO SCALE

FRAME MATERIAL: BLACK 0.25" HMWPE

RIFICE AND WEIR FLOWS WILL BE USED FOR EACH STAG

FILTER MATERIAL ALLOWS 129 gpmSF OR 0.29ds/SF
ORIFICE EQUATION (0) = Q=0.84(2gh)*0.5
P = FEET PERMETER
h = HEAD IN FEET
Q = CAPACITY IN ds
A = FREE OPEN AREA OF FRAME

No. 32451 PROFESSIONAL,



STONE SHALL BE 2" TO 3" GRAVEL

A STABILIZED PAD OF CRUSHED STONE SHALL BE LOCATED WHERE TRAFFIC WILL BE LEAVING OR ENTERING A CONSTRUCTION SITE TO OR FROM A PUBLIC STREET.

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY.

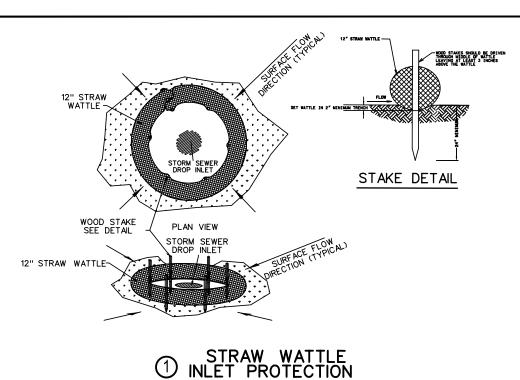
WHEN NECESSARY, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.

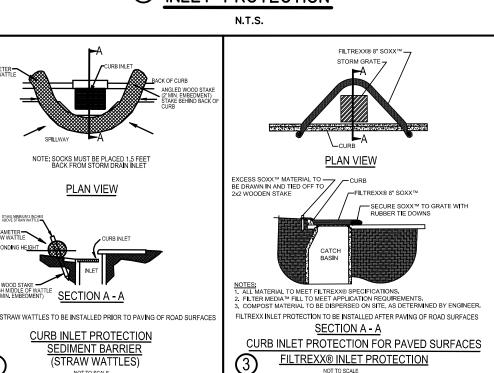
FILTER FABRIC SHOULD BE MIRAFI 500 OR APPROVED EQUIVALENT.

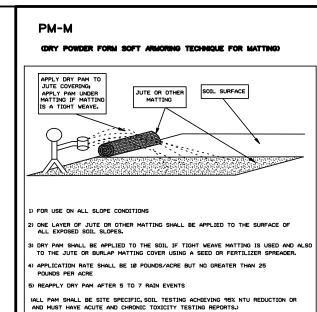
CONSTRUCTION EXIT (TYPICAL) N. T. S.

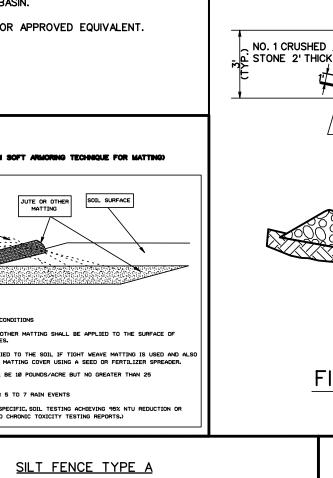
NOTE: INLET PROTECTION PHASES

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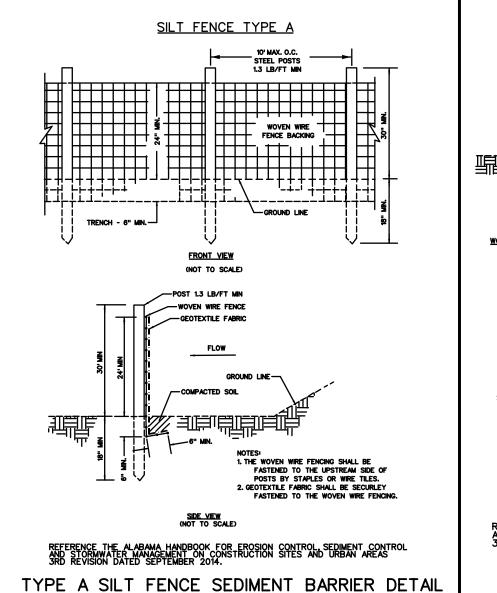
NATURAL GROUND OR

COMPACTED FILL WHICH

(TYPICAL BOTH SIDES)

TIES TO EXISTING GROUND

ALDOT CLASS 1 RIP RAP



INSTALL FIRST FASTENER NEAR TOP OF FABRIC AND THEN A MIN. OF 3 MORE EQUALLY SPACED DOWN THE POST TO WITHIN APPROXIMATE 4"-6" ABOVE THE GROUND. WOOD POST WITH STAPLE PLACEMENT WOOD POST WITH NAIL PLACEMENT FASTENERS FOR SILT FENCES (NOT TO SCALE) -POST (ONE POST APPLICABLE FOR TYPES A & B FENCE) ROLL THE ENDS OF EACH SECTION OF FENCE ONE OR MORE TIMES BEFORE INSTALLING THE POSTS. ROLL JOINT FOR JOINING TWO ADJACENT SILT FENCE SECTIONS (NOT TO SCALE) REFERENCE THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS 3RD REVISION DATED MARCH 2014. SILT FENCE INSTALLATION DETAILS DOUBLE ROWS OF SILT FENCE SHOULD BE SPACED 5 TO 8 FEET APART SPACING CAN VARY TO AVOID OBSTACLES

-8oz. NON-WOVEN FILTER FABRIC

1' SPILL OVER (SEE OTHER VIEW)

O DIRECTION OF FLOW

- CHANNEL BOTTOM

- ALDOT CLASS 1 RIP RAP

FRONTAL VIEW

SECTIONAL VIEW

SPACING BETWEEN CHECK DAMS

FILTERED RIP RAP CHECK DAM

EROSION CONTROL NOTES

- THE OWNER HAS OBTAINED THE REQUIRED NPDES STORMWATER GENERAL PERMIT FOR DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES FROM THE ALABAMA DEPARTMENT OF ENVIRONMENTAL MANAGMENT (ADEM). THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE ACTIVITIES ASSOCIATED WITH THIS PERMIT. CONTRACTOR SHOULD OBTAIN A COPY OF THIS PERMIT AND REQUIRMENTS PRIOR TO COMMENCING CONSTRUCTION AND MAINTAIN A COPY AT THE SITE.
- A REVIEW OF REQUIREMENTS AND RESPONSIBLITIES FOR THE NPDES PERMIT FOR STORM WATER MAY BE CONDUCTED PRIOR TO ON-SITE OPERATIONS. THE CONTRACTOR SHALL BE PREPARED TO IDENTIFY THE RESPONSIBLE INDIVIDUAL FOR PERMIT COMPLIANCE, AS WELL AS THE INDIVIDUAL(S) RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY EROSION CONTROL DEVICES DURING CONSTRUCTION SO AS TO INSURE PERMIT COMPLIANCE, INCLUDING PROTECTING ADJACENT PROPERTY, STREAMS, CHANNELS, AND PUBLIC ROADS. THE CONTRACTOR SHALL ASSUME LIABILITY FOR ALL FAILURES OF THE SYSTEM AND BE RESPONSIBLE FOR CLEANUP AND/OR REPAIRS TO THE SYSTEM.
- TEMPORARY EROSION CONTROL DEVICES SHALL BE OBSERVED BY THE CONTRACTOR EACH DAY THERE IS ACTIVITY AT THE SITE AND SHALL MAKE ANY NECESSARY ADJUSTMENTS/REPAIRS AS NEEDED TO MAINTAIN THE EROSION CONTROL MEASURES.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COSTS ASSOCIATED WITH ANY FINES CAUSED BY THE DISCHARGE OF SEDIMENTS OR ANY OTHER VIOLATION UNDER THIS PERMIT.
- THE MEASURES SHOWN ON THE PLANS ARE INTENDED FOR CONTROL DURING SITE CLEARING AND GRADING. ADDITIONAL MEASURES, INCLUDING SILT FENCES AND STRAW WATTLES WILL BE REQUIRED AS SITE CONDITIONS CHANGE DURING CONSTRUCTION.
- COORDINATE THE INSTALLATION OF THE SEDIMENTATION AND EROSION CONTROL MEASURES WITH THE CLEARING AND GRUBBING OPERATION. THESE ACTIVITES MUST OCCUR AT THE PROPER TIME IN RELATION TO ONE ANOTHER TO COMPLY WITH THE PERMIT.

- 8. INSTALL AND MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES (BOTH TEMPORARY AND PERMANENT) AS A CONTINUING PROGRAM UNTIL THE SITE WORK IS COMPLETE AND THE SITE IS STABILIZED. THIS INCLUDES, BUT IS NOT LIMITED TO, REPAIRS AND DAMAGE FROM STORMS, REGULAR MAINTENANCE, AND REMOVAL / DISPOSAL OF ACCUMULATED SILT, SILT FENCES AND OTHER EROSION CONTROL DEVICES SHOULD BE INSPECTED AFTER EVERY
- 9. ALL EROSION CONTROL MEASURES COMPROMISED BY SEDIMENT BUILD-UP, INCLUDING SILT FENCES AND STRAW WATTLES OR OTHER DEVICES, WILL BE REPAIRED OR REPLACED AS NECESSARY
- 10. ANY PIPE, CREEK, OR OTHER STORM DRAINAGE FEATURE SHOWING EVIDENCE OF SEDIMENT ACCUMULATION SHALL BE CLEANED OUT. THE SEDIMENT REMOVED SHALL BE DISPOSED OF IN A LOCATION APPROVED BY THE OWNER OR HIS REPRESENTATIVE.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL OF SILT/SEDIMENT (IF NOT REUSABLE ON-SITE) AND SHALL REMOVE ANY SILT/SEDIMENT BEYOND THE PROPERTY RESULTING FROM CONSTRUCTION OPERATIONS.
- 12. DO NOT DEPOSIT WASTE, LOOSE SOIL OR OTHER MATERIALS IN LIVE STREAMS, SWALES OR DRAINAGE WAYS, EXCEPT AS APROPRIATE FOR EROSION CONTROL (E.G. LOG AND BRUSH CHECKS).
- 13. AFTER THE LAND DISTURBANCE ACTIVITY HAS STABILIZED. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION CONTROL DEVICES AT THE DIRECTION OF THE OWNER AND CLEANING UP AND DRESSING THE AREA TO THE SATISFACTION OF THE OWNER.
- 14. SILT FENCES ARE TEMPORARY EROSION CONTROL DEVICES THAT SHALL BE ERECTED OPPOSITE ERODABLE AREAS SUCH AS NEWLY GRADED FILL SLOPES AND ADJACENT TO STREAMS AND CHANNELS.
- 15. SILT FENCE SEDIMENT BARRIER SHALL BE CONSTRUCTED WITH TYPE A FABRIC 36 INCHES IN WIDTH (MIN.). THE FABRIC SHALL BE SUPPORTED BY WOVEN WIRE FENCE, HAVING A MINIMUM OF 6 LINE WIRES AND A MAXIMUM 12" STAY SPACING. WIRE FENCE SHALL BE SUPPORTED BY STEEL POSTS WITH *9 GAGE GALVANIZED FENCE TENSION WIRE (11/2" L MIN.) THE BOTTOM EDGE OF THE FENCE SHALL BE PLACED IN AN EXCAVATED TRENCH 6" DEEP AND COVERED AS SHOWN IN THE SILT FENCE SEDIMENT BARRIER DETAIL

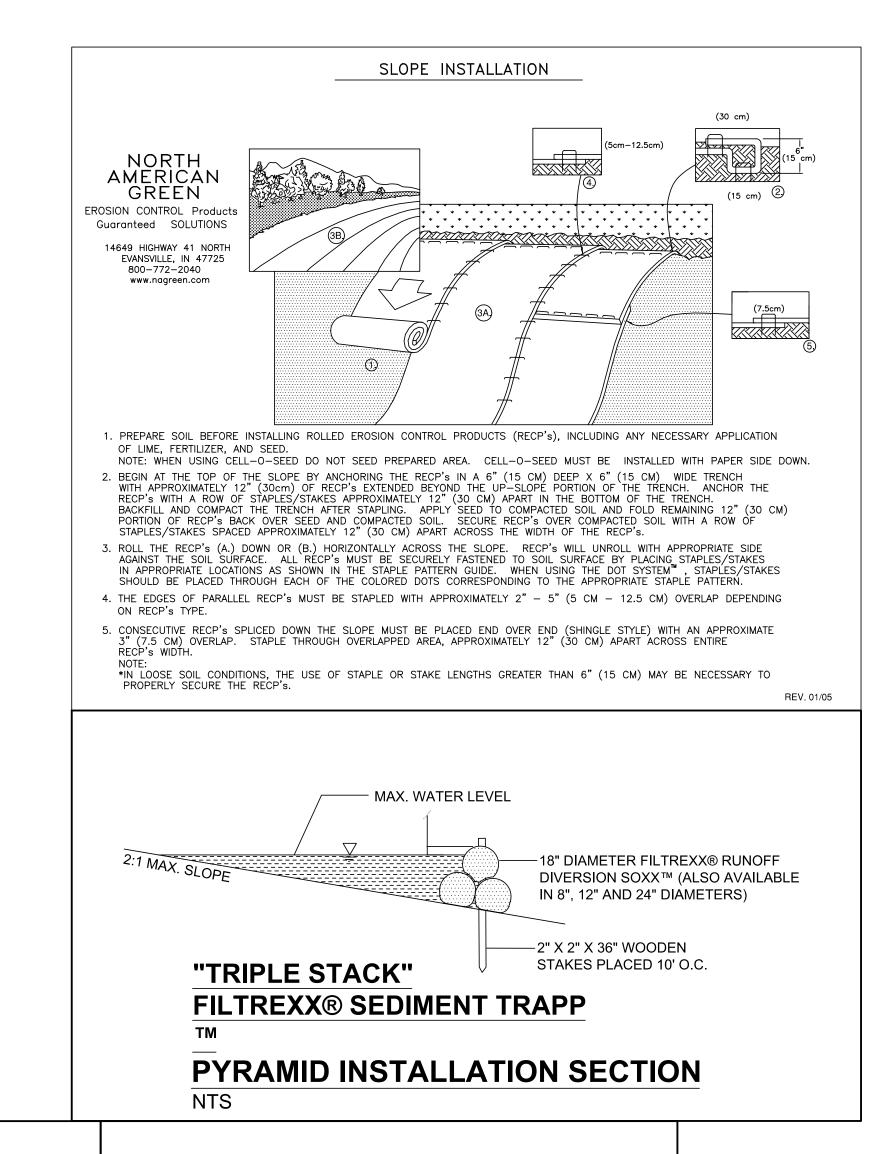
- 16. IN FLAT AREAS, SILT FENCES SHOULD BE CONSTRUCTED IN THE SHAPE OF A HORSESHOE, WHENEVER POSSIBLE, SO AS TO AID IN PONDING AND TO FACILITATE SEDIMENTATION
- 17. STRAW WATTLES OR OTHER APPROPRIATE EROSION CONTROL MEASURES AS DIRECTED ON THE PLANS SHALL BE PLACED AT THE DOWNSTREAM EDGE OF ALL DISTURBED AREAS.

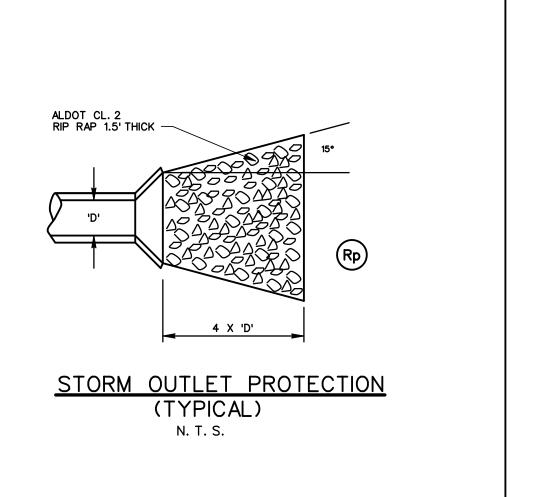
18. STRAW WATTLES ARE TEMPORARY EROSION CONTROL DEVICES THAT

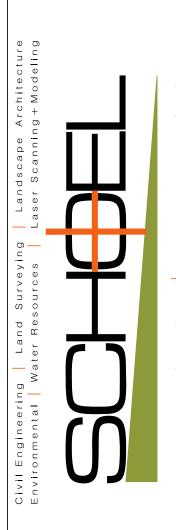
SHALL BE USED IN CONJUNCTION WITH OTHER EROSION CONTROL

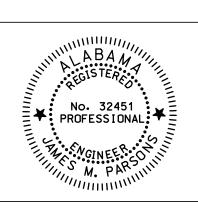
- DEVICES. STRAW WATTLES SHALL BE SECURED WITH STAKES AS SHOWN IN THE WATTLE DETAIL
- 19. ALL STORM SEWER INLETS IN DISTURBED AREAS OR IN OTHER AREAS SUBJECT TO POTENTIAL INFLOW OF SEDIMENT SHALL BE PROTECTED AT A MINIMUM WITH STRAW WATTLES.
- 20. ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR MORE THAN 13 DAYS MUST BE IMMEDIATELY SEEDED AND MULCHED.
- 21. AS NECESSARY, ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED TO PREVENT SILT FROM LEAVING THE PROJECT CONFINES DUE TO EXTREME WEATHER CONDITIONS OR ACCIDENTS.
- 22. ANY DISTURBANCE OF SOIL AND VEGETATION OUTSIDE THE LIMITS OF THE CLEARING LINE WILL NOT BE PERMITTED UNDER ANY CONDITION.
- 23. PREVENT RUN-ON AND RUN-OFF FROM SOIL AND SEDIMENT PILES BY SURROUNDING PILE WITH STRAW WATTLES AND/OR SILT FENCE.
- 24. PREVENT AND CONTROL SOIL EROSION AND GULLYING WITHIN THE PROPERTY COVERED BY CONTRACT AND THE ADJACENT PROPERTIES AS A RESULT OF CONSTRUCTION.
- 25. CONSTRUCT ROADSIDE DITCHES AS REQUIRED DURING ROAD CONSTRUCTION TO ALLOW STORM RUNOFF TO DRAIN.
- 26. AN ACCESS ROUTE SUFFICIENT TO ALLOW THE USE OF APPROPRIATE MAINTENANCE EQUIPMENT SHALL BE EXTENDED TO EACH STRUCTURAL EROSION CONTROL DEVICE.

- 28. THE CONTRACTOR WILL BE RESPONSIBLE FOR REVIEWING AND IMPLEMENTING THE SITE SPECIFIC SPILL PREVENTION CONTROL AND COUNTERMEASURE (SPCC) PLAN.
- 29. THE CONTRACTOR IS RESPONSIBLE FOR PROPER COLLECTION, STORAGE. AND DISPOSAL OF SOLID AND SANITARY WASTES. DISPOSAL OF THESE WASTES SHALL BE OFF-SITE IN AN APPROPRIATELY PERMITTED FACILITY.
- 30. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER ON-SITE HANDLING, USE, STORAGE, AND DISPOSAL OF PAINTS, SOLVENTS, CHEMICALS, PESTICIDES, HERBICIDES, FERTILIZERS, OILS, GREASE, FUEL, AND OTHER HAZARDOUS MATERIALS USED DURING THIS PROJECT. APPROPRIATE SPILL PREVENTION SHOULD BE PROVIDED FOR ANY CHEMICAL OR HAZARDOUS MATERIAL TO REDUCE EXPOSURE AND CONTAMINATION OF SOILS, STREAMS, CHANNELS, AND STORM WATER RUNOFF.
- 31. THE SITE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EROSION AND SEDIMENT CONTROL DEVICES ON-SITE DURING CONSTRUCTION IN ACCORDANCE WITH THESE PLANS, AS A MINIMUM STANDARD FOR NPDES STORM WATER PERMIT COMPLIANCE.









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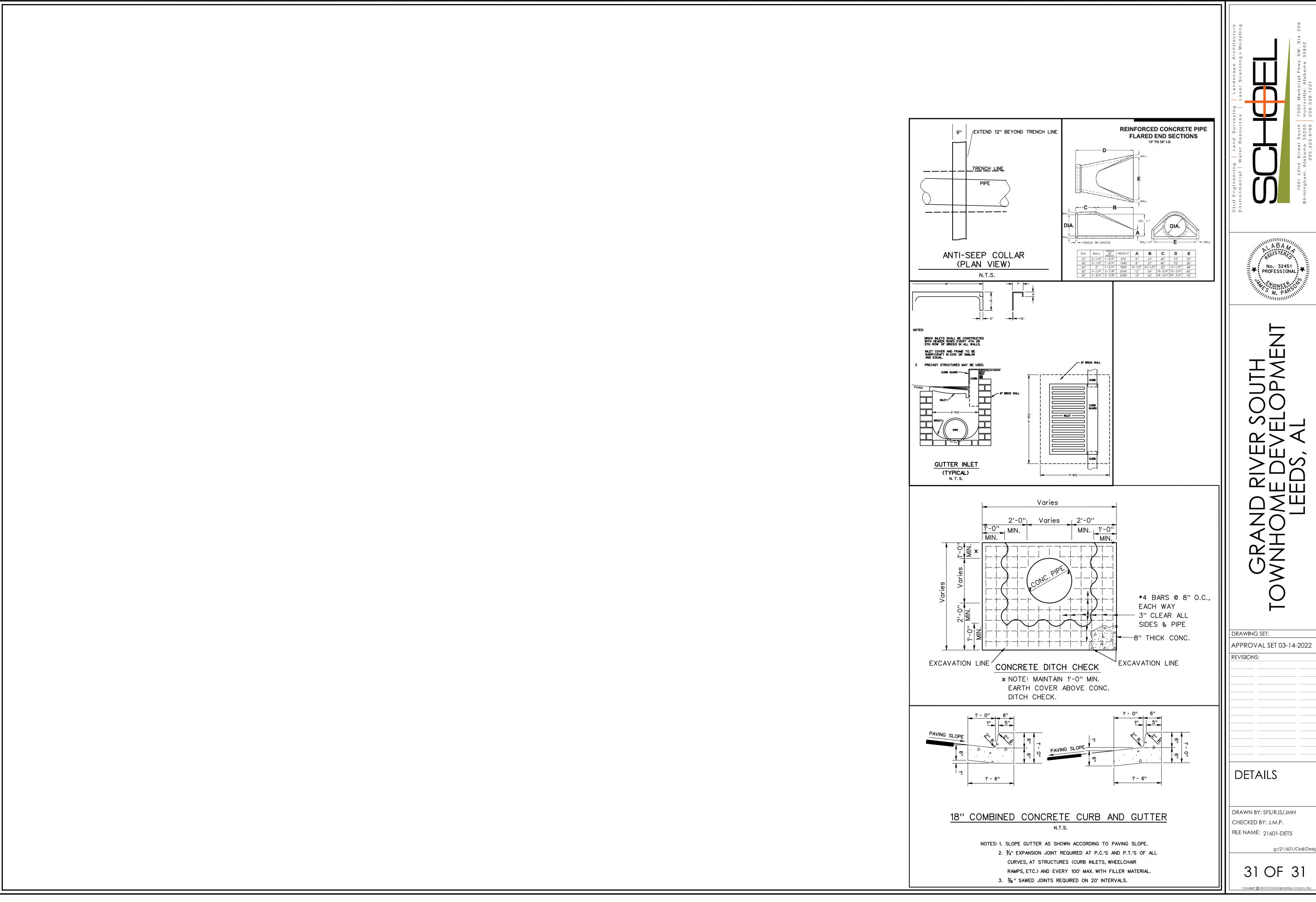
DRAWING SET: APPROVAL SET 03-14-2022 REVISIONS:

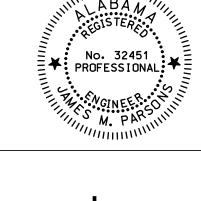
DETAILS

DRAWN BY: SFS/RJS/JMH CHECKED BY: J.M.P. FILE NAME: 21601-DET4

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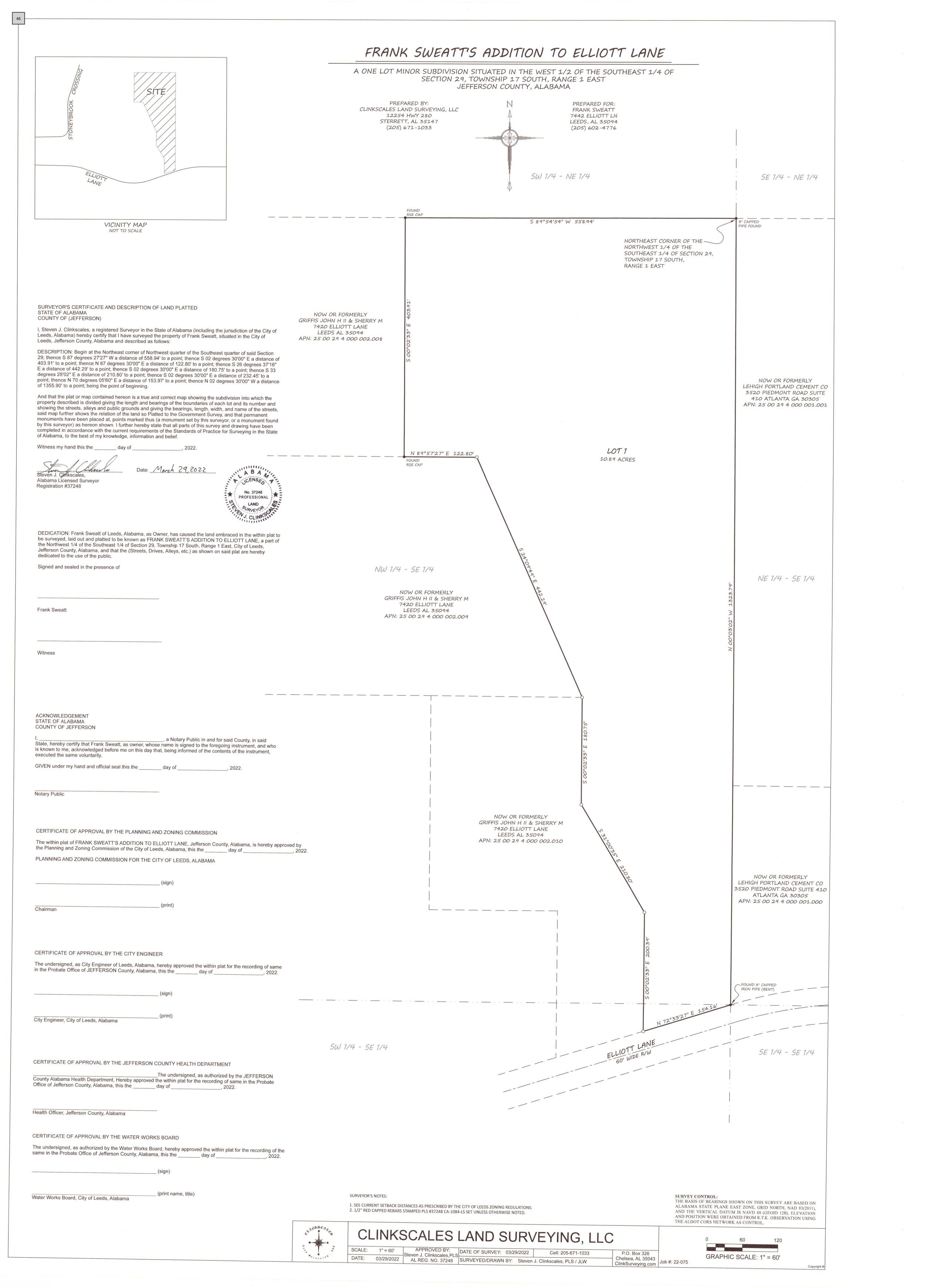


DETAILS

DRAWN BY: SFS/RJS/JMH CHECKED BY: J.M.P. FILE NAME: 21601-DET5

g:/21/601/Civil/Design/

5. SA22-000010 - A request by Frank Sweatt, Owner, and Applicant, for a certified plat "Frank Sweatt's Addition to Elliot Ln" consisting of one (1) lot located at 7442 Elliot Lane, Leeds, AL 35094, TPID 2500294000002005, Zoned A-1, Agriculture, Jefferson County.



6. SA22-0000011 - A request by Gonzalez, Strength & Associates - Fred Cox , Applicant - HIllary Drummond, Owner - for a certified plat - HILLARY DRUMMOND ADD TO ELLIOT LANE PLAT NO. 2 - located at 7245 Elliot Ln, 35094, TPID: 2500294000002000 - Zoned A-1 Agriculture

STATE OF ALABAMA SHELBY COUNTY VICINITY MAP LEGEND FOUND CONCRETE MONUMENT IRON PIN FOUND IRON PIN SET (5/8" REBAR w/CAP) CALCULATED POINT ROW RIGHT OF WAY SCALE: 1 INCH = 100 FEET JEFFERSON COUNTY-LEEDS, ALABAMA DATED: ________, 2022. FOUND 3" CAP PIPE NE COR OF NOT TO SCALE THE SW 1/4 OF THE SE 1/4 SEC. 29, T-17S, R1E STATE OF ALABAMA JEFFERSON COUNTY FOUND 3" CAP PIPE NE COR OF THE SE 1/4 OF THE SE 1/4 SEC. 29, T-17S, R1E √ <u>S 89°52'41" W</u> 1332.89' such individual with full authority therefor. FOUND PK NAIL IN DRIVE ELLIOTT LANE
60' R.O.W., Page 37
Book A980, Page STATE OF ALABAMA JEFFERSON COUNTY LOT 1 767,824 Sq. Feet 17.63 Acres +/-LOT 2 HILLARY DRUMMOND ADD TO ELLIOT LANE HILLARY DRUMMOND **ADD TO ELLIOT LANE MAP BOOK 253, PG 49 MAP BOOK 253, PG 49** FOUND 1" BOLT SE COR OF S 89°56'28" W THE SW 1/4 OF THE SE 666.61' (M) 1/4 SEC. 29, T-17S, R1E FOUND 1" FLAT BAR 666.85' (D) JEFFERSON COUNTY, ALABAMA

ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF

The undersigned, <u>Derek S. Meadows</u>, a Registered Land Surveyor in the State of Alabama hereby certify that this plat or map was made pursuant to a survey made by said surveyor and that said survey and this plat or map were made at the instance of said owners; that this plat or map is a true and correct map of lands shown therein and known as <u>Hillary Drummond Add to Elliot Lane Plat No. 2</u>, showing the subdivisions into which it is proposed to divide said lands, giving the length and bearings of the boundaries of each lot and its number, showing the streets, alleys, and public grounds, giving the bearings length, width and name of each street, as well as the number of each lot and block, and showing the relation of the lands to the government survey and that iron pins have been installed at all lot corners and curve points as shown and designated by small solid circles on said plat or map and that all parts of this survey and plat (or drawing) have been completed in accordance with the requirements of the Standards for the Practice of Surveying in the State of Alabama to the best of my knowledge and belief. Said owners also certify that they are the owners of said lands and that the same are subject to a mortgage.

DATED:______, 2016. Hillary Drummond GONZALEZ - STRENGTH & ASSOC., INC. Derek S. Meadows, Reg. No. 29996 DATED:______, 2022.

I, the undersigned, a Notary Public in and for said County and State, do hereby certify that <u>Derek S. Meadows</u>, whose name is signed to the foregoin Certificate as surveyor and who is known to me, acknowledged before me, on this date, that after having been duly informed on the contents of said certificate, he executed same voluntarily as

Given under my hand this ______ day of ______ , 2022. My Commission Expires: _____

I, the undersigned, a Notary Public in and for said County and State, do hereby certify that Hillary Drummond, as owner of said property whose names are signed to the foregoing certificate as owner and who are known to me, acknowledged before me, on this date, that after having been duly informed on the contents of said certificate, they executed same voluntarily as such individual with full authority therefor.

Given under my hand this ______ day of ______ , 2022.

My Commission Expires: _____

City Engineer

City of Leeds Planning & Zoning Commission City of Leeds Water Works Board

DIRECTOR OF ENVIRONMENTAL SERVICES DATE

Environmental Services Department approval indicates that this document has been reviewed for provision of future or existing sanitary sewers; however this does not mean sanitary sewers have been built or will be built in the future. Any change in Right of Way or Easement boundaries after this date may void this approval.

FINAL PLAT

HILLARY DRUMMOND ADD TO ELLIOT LANE PLAT NO. 2

BEING A SURVEY OF A PARCEL OF LAND SITUATED IN THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 17 SOUTH, RANGE 1 EAST,

Prepared by:



PHONE: (205) 942-2486 FAX: (205) 942-3033 Gonzalez-Strength.com

January 2022

JOB# 21-0712